

ADDENDUM NO. 1

TO: PLANS AND SPECIFICATIONS FOR STATE OF MISSOURI

**Renovate Lobby and Restrooms 1st and 2nd Floor
Howerton State office Building
Jefferson City, Missouri
PROJECT NO.: O2339-01**

Bid Opening Date: 1:30 PM, April 22, 2024 (Not Changed)

Bidders are hereby informed of the following:

SPECIFICATION CHANGES:

Section 096500 Resilient Flooring

1. Added Product Data, Samples, and Operations/Maintenance Manual to submittal registrar.

Section 096813 Tile Carpeting

1. Added Product Data, Samples, and Operations/Maintenance Manual to submittal registrar.

DRAWING CHANGES:

A-100

2. Demolition Plan Tag Note "D15" updated. No save for reuse.
3. Demolition Plan Tag Note "D16" updated. No save for re-use in same location.
4. Wall Symbol Key. Change demountable walls (existing base trim to be reused) to new walls. Change fixed gypsum metal studded walls (vinyl base cove to be replaced) to existing walls.

A-101

1. Key Note "D15" updated. No save for reuse.
2. Key Note "D16" updated. No save for re-use in same location.
3. Keyed Noted on drawing 2 – Second Floor Staff Restroom Demolition Plan labeled as "8" should be keyed note "D20."

A-102

1. Wall Symbol Key. Change demountable walls (existing base trim to be reused) to new walls. Removed change fixed gypsum metal studded walls (vinyl base cove to be replaced).
2. Finish Specifications. B1 color changed to Fudge 167.
3. Room Finish Schedule. 1218 Conference room – Paint P1/P2. – Flooring C1. –

Wall Base B1.

4. Drawing 1 – First Floor Renovation Plan in stairwell 1102 Keyed Note “13” changed to keyed Note “20.”
5. Drawing 1 – First Floor Renovation Plan near restrooms 1103 and 1104 Keyed Notes “17” changed to keyed Note “18.”
6. Revised Plan Tag Notes: Keyed Note “13” Paint door frame to match building standard changed to Paint door frame, window trim and mullions to match building standard.
7. Revised Plan Tag Notes: Keyed Note “20” Paint elevator doors and trim, window trim and mullions, door frames, steel tubing, stair railing and vent registers. (P3) Changed to Paint elevator doors and trim, steel tubing, stair railing, and vent registers. (P3)

A-103

1. Wall Symbol Key. Change demountable walls (existing base trim to be reused) to new walls. Removed fixed gypsum metal studded walls (vinyl base cove to be replaced).
2. Room Finish Schedule. Removed C1 flooring from 2202 Lobby.
3. Revised Plan Tag Notes: Keyed Note “13” removed window trim and mullions, door frames.
4. Revised Plan Tag Notes: Keyed Note “20” added window trim and mullions.

A-104

1. Restroom Fixture Schedule: Quantity changes per mark.
 - GB-1 Quantity changed from 2 to 4.
 - GB-2 Quantity changed from 2 to 4.
 - GB-3 Quantity changed from 2 to 4.
 - LAV-1 Quantity changed from 6 to 10.
 - TA-1 Quantity changed from 8 to 12.
 - TA-2 Quantity changed from 6 to 9.
 - TA-3 Quantity changed from 4 to 7.
 - TA-5 Quantity changed from 4 to 8.
 - TA-6 Quantity changed from 4 to 6.
 - TA-7 Quantity changed from 8 to 12.
 - TA-8 Quantity changed from 6 to 10.
 - TA-9 Quantity changed from 2 to 4.
 - TA-10 Quantity changed from 6 to 10.
 - WC-1 Quantity changed from 8 to 12.
 - WC-2 Quantity changed from 8 to 12.
 - UR-1 Quantity changed from 4 to 6.
 - UR-2 Quantity changed from 4 to 6.

2. Room Finish Schedule: B-1 color changed to Fudge 167.

A-105

1. Restroom Fixture Schedule: Quantity changes per mark.
 - GB-1 Quantity changed from 2 to 4.
 - GB-2 Quantity changed from 2 to 4.
 - GB-3 Quantity changed from 2 to 4.
 - LAV-1 Quantity changed from 6 to 10.
 - TA-1 Quantity changed from 8 to 11.
 - TA-2 Quantity changed from 6 to 8.
 - TA-3 Quantity changed from 4 to 7.
 - TA-5 Quantity changed from 4 to 8.
 - TA-6 Quantity changed from 4 to 6.
 - TA-7 Quantity changed from 8 to 11.
 - TA-8 Quantity changed from 6 to 10.
 - TA-9 Quantity changed from 2 to 4.
 - TA-10 Quantity changed from 6 to 10.
 - WC-1 Quantity changed from 8 to 11.
 - WC-2 Quantity changed from 8 to 11.
 - UR-1 Quantity changed from 4 to 5.
 - UR-2 Quantity changed from 4 to 5.
2. Room Finish Schedule: B-1 color changed to Fudge 167.

A-201

1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.
 - TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
 - TA-8 Changed mirror to 24" x 72" mirror.
 - TA-9 Changed mirror to 24" x 36" mirror.
2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

A-202

1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.

- TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
- TA-8 Changed mirror to 24" x 72" mirror.
- TA-9 Changed mirror to 24" x 36" mirror.
- 2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

A-203

- 1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.
 - TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
 - TA-8 Changed mirror to 24" x 72" mirror.
 - TA-9 Changed mirror to 24" x 36" mirror.
- 2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

A-204

- 1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.
 - TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
 - TA-8 Changed mirror to 24" x 72" mirror.
 - TA-9 Changed mirror to 24" x 36" mirror.
- 2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

A-205

- 1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.
 - TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
 - TA-8 Changed mirror to 24" x 72" mirror.
 - TA-9 Changed mirror to 24" x 36" mirror.
- 2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

A-206

1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.
 - TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
 - TA-8 Changed mirror to 24" x 72" mirror.
 - TA-9 Changed mirror to 24" x 36" mirror.
2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

A-207

1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.
 - TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
 - TA-8 Changed mirror to 24" x 72" mirror.
 - TA-9 Changed mirror to 24" x 36" mirror.
2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

A-208

1. Restroom Finish Schedule: Clarifications per mark.
 - GB-1 Changed grab bar to 36" grab bar.
 - GB-2 Changed grab bar to 42" grab bar.
 - GB-3 Changed grab bar to 18" grab bar.
 - TA-7 Changed coat hook to coat hooks (to be installed inside of stalls)
 - TA-8 Changed mirror to 24" x 72" mirror.
 - TA-9 Changed mirror to 24" x 36" mirror.
2. Changed note from: See A-601 for full fixture schedule to See sheets A-104 - A-105 for full fixture schedules.

GENERAL:

1. The Pre-Bid Meeting will be held on April 8, 2025, at 11:00 AM.
2. Site Inspection occurred immediately after the formal Pre-Bid Meeting at Howerton State Office Building.

3. The deadline for technical questions is April 15, 2025, at noon.
4. Accommodations will need to be made to keep the Lobby available for egress to one elevator at a time during business hours.
5. Bidders needing an additional site inspection should contact Casey Onstott at (573) 526-9257 casey.onstott@oa.mo.gov.
6. Please contact Mandy Roberson, Contract Specialist, at (573) 522-0074 or mandy.roberson@oa.mo.gov for questions regarding bidding procedures and MBE/WBE/SDVE goals and submittal requirements.
7. Changes to, or clarification of, the bid documents are only made as issued in the addenda.
8. Current Plan Holders list is available online at: [O2339-01 Renovate Lobby and Restroom 1st and 2nd Floor - Howerton State Office Building: Plan Holders: State of Missouri Office of Administration \(oafmdcplanroom.com\)](http://O2339-01%20Renovate%20Lobby%20and%20Restroom%201st%20and%202nd%20Floor%20-%20Howerton%20State%20Office%20Building%3A%20Plan%20Holders%3A%20State%20of%20Missouri%20Office%20of%20Administration%20(oafmdcplanroom.com))
9. Prospective Bidders contact American Document Solutions, 1400 Forum Blvd Suite 1C, Columbia MO 65201, 573-446-7768 to order official plans and specifications.
10. All bids shall be submitted on the bid form without additional terms and conditions, modifications, or stipulations. Each space on the bid form shall be properly filled. Failure to do so will result in rejections of the bid.
11. MBE/WBE/SDVE participation requirements can be found in DIVISION 00. The MBE/WBE/SDVE participation goals are 0% / 0% / 3% respectively. Only certified firms as of the bid opening date can be used to satisfy the MBE/WBE/SDVE participation goals for this project. If a bidder is unable to meet a participation goal, a Good Faith Effort Determination Form must be completed. Failure to complete this process will result in rejection of the bid.

ATTACHMENTS:

A-100_O2409_01

A-101_O2409_01

A-102_O2409_01

A-103_O2409_01

A-104_O2409_01

A-105_O2409_01

A-201_O2409_01

A-202_O2409_01

A-203_O2409_01

A-204_O2409_01

A-205_O2409_01

A-206_O2409_01

A-207_O2409_01

A-208_O2409_01

Pre-Bid Sign in Sheet:

April 7, 2025

END OF ADDENDUM NO. 1

**Pre-Bid Meeting Attendance Sheet
 Renovate Lobby and Restroom
 1st and 2nd Floor
 Howerton State Office Building**

**Project No. O2339-01
 April 8, 2024, 11:00 AM**

Name & Title	Company Name & Type of Contracting	MBE/WBE/SDVE Status	Phone	E-Mail Address of Attendee & E-Mail Address of Individual filling out Bid Documents
Erin Leezer	OA/FMDC	Designer	573-508-8352	Erin.Leezer@oa.mo.gov
Tracie Siebeneck	OA/FMDC	Engineer	573-751-7831	Tracie.Siebeneck@oa.mo.gov
Carl Haley	OA/FMDC	CA	573-526-0473	Carl.Haley@oa.mo.gov
Eric Markway	OA/FMDC	SLM	573-522-2895	Eric.Markway@oa.mo.gov
Alex Haffley	OA/FMDC	Designer	573-508-8917	Alexander.Haffley@oa.mo.gov
Brad Schaefer	OA/FMDC	Architect	573-526-0136	Brad.Schaefer@oa.mo.gov

**Pre-Bid Meeting Attendance Sheet
 Renovate Lobby and Restroom
 1st and 2nd Floor
 Howerton State Office Building**

**Project No. O2339-01
 April 8, 2024, 11:00 AM**

Name & Title	Company Name Type of Contracting	MBE/WBE/ SDVE Status	Phone	E-Mail Address of Attendee and E-Mail Address of Individual filling out Bid Documents
Casey Onstott	OA/FMDC	Site Contact	573-526-9257	Casey.Onstott@oa.mo.gov _____
Andy Carroll	OA/FMDC	PM	573-751-8913	Andy.Carroll@oa.mo.gov _____
Kevin Bax	Morris Electric		573-619-2656	kevinmorriselectricalservice@gmail.com _____
Andrew Walenda	Arete Contracting		573-718-6305	Andrew.walenda@aretecontracting.com _____
Kyle Te	Arete Contracting	MBE SDVE	573-694-0748	BIDS@aretecontracting.com _____
Rhad Baker	Rhad Baker Construction		573-489-6470	Rhad_baker@yahoo.com _____

**Pre-Bid Meeting Attendance Sheet
 Renovate Lobby and Restroom
 1st and 2nd Floor
 Howerton State Office Building**

**Project No. O2339-01
 April 8, 2024, 11:00 AM**

Name & Title	Company Name Type of Contracting	MBE/WBE/ SDVE Status	Phone	E-Mail Address of Attendee and E-Mail Address of Individual filling out Bid Documents
Justin Rogers	Brown & Root		573-301-4995	Justin.Rogers@brownandroot.com _____
Mike Bungart	G.B.H. Builders		573-893-3637	Mike@gbhbuilders.com _____
Craig Linhardt	Meyer Electric		573-893-2335	Craig@meyerelectric.com _____
Adam Scott	Scott Electric		660-888-0121	Adam@scottelectricmo.com _____
				_____ _____
				_____ _____



Brad M. Schaefer - Architect
MO# A-2009027294

BID DOCUMENTS

OFFICE OF
ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT / DESIGN
AND CONSTRUCTION

DEPARTMENT OF
SOCIAL SERVICES

MULTI. DIVISION

HOWERTON STATE
OFFICE BUILDING

RENOVATE LOBBY
AND RESTROOMS
1ST AND 2ND FLOOR
615 HOWERTON COURT
JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

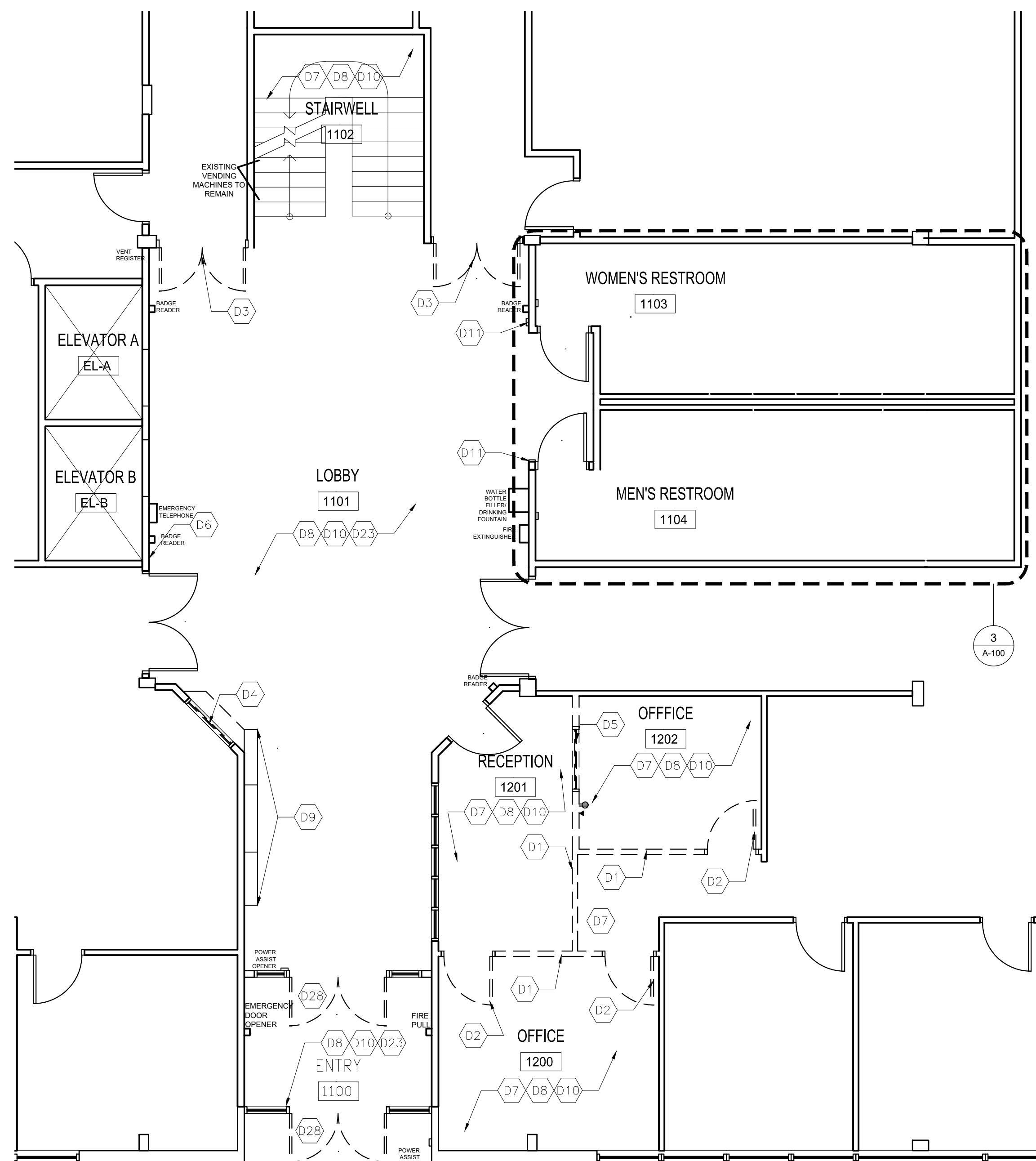
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DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
**FIRST FLOOR
LOBBY & RESTROOM
DEMOLITION PLAN**

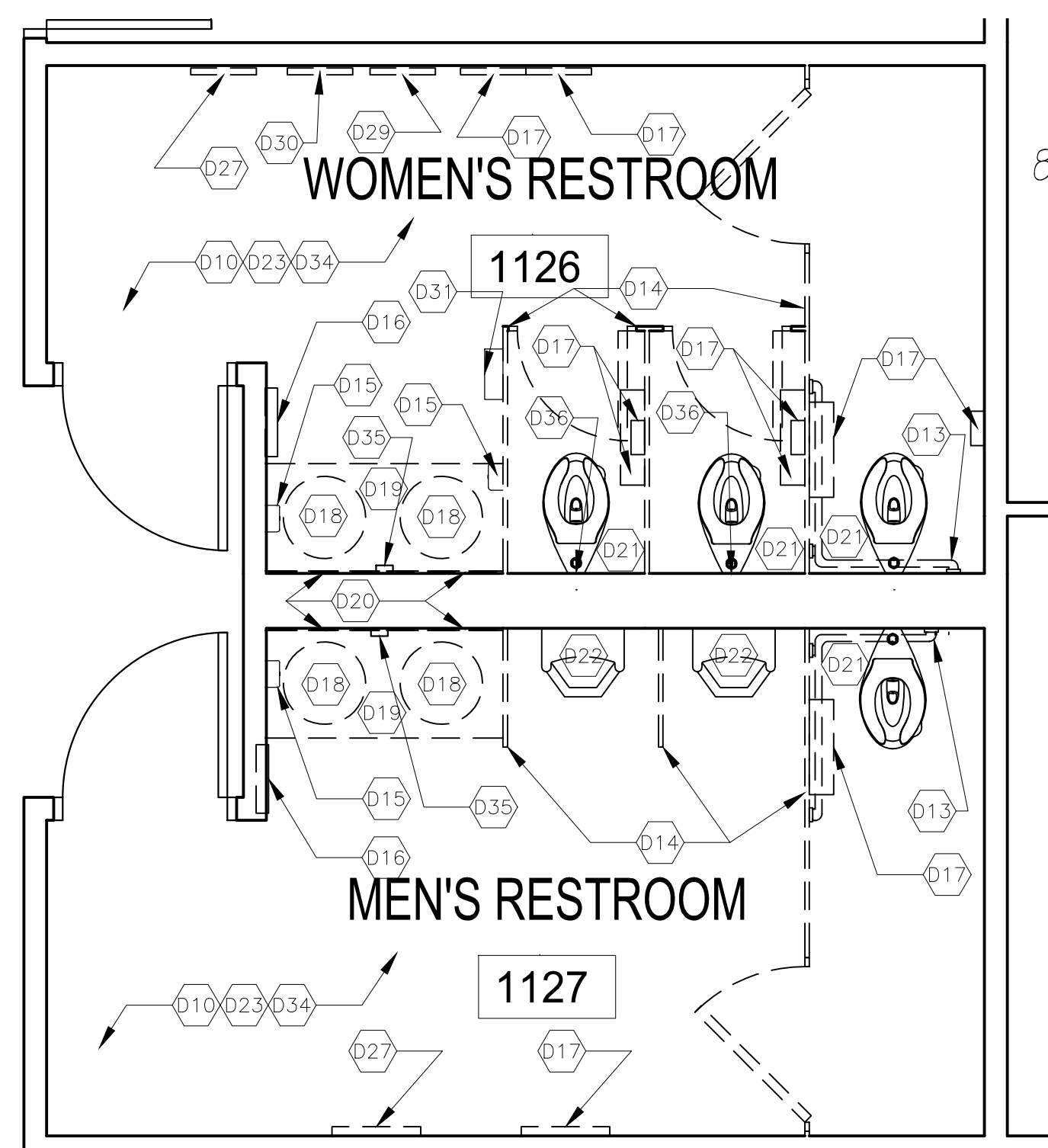
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A-100

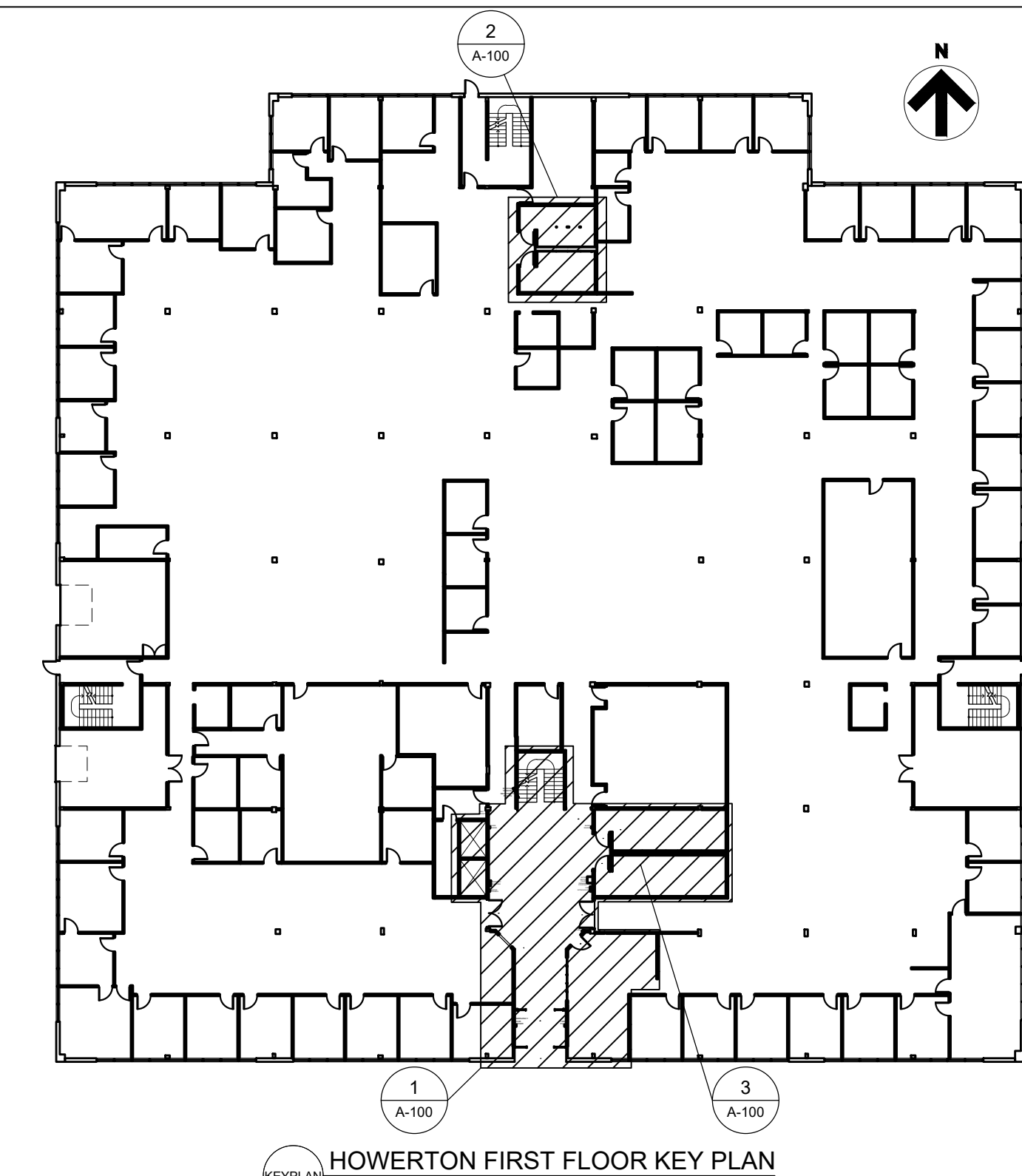
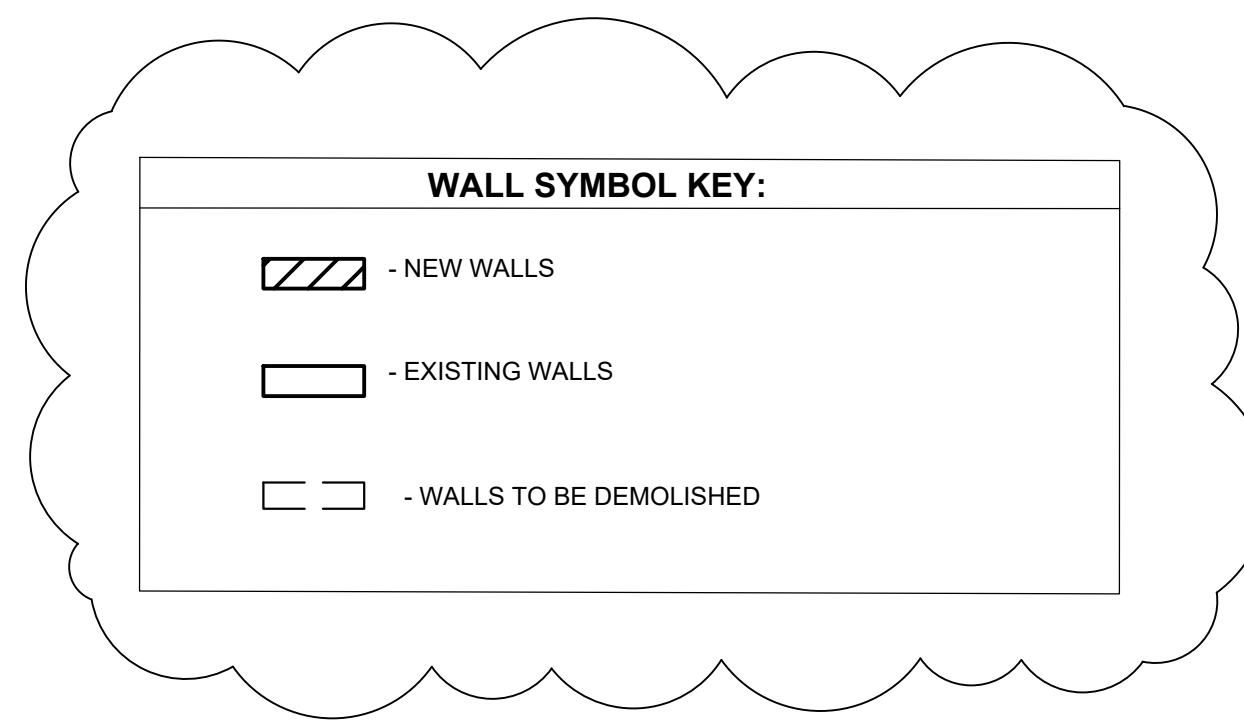
2 OF 38 SHEETS



1 FIRST FLOOR LOBBY DEMOLITION PLAN
SCALE: 3/16"=1'-0"



2 FIRST FLOOR STAFF RESTROOM ENLARGED DEMOLITION PLAN
SCALE: 3/8"=1'-0"



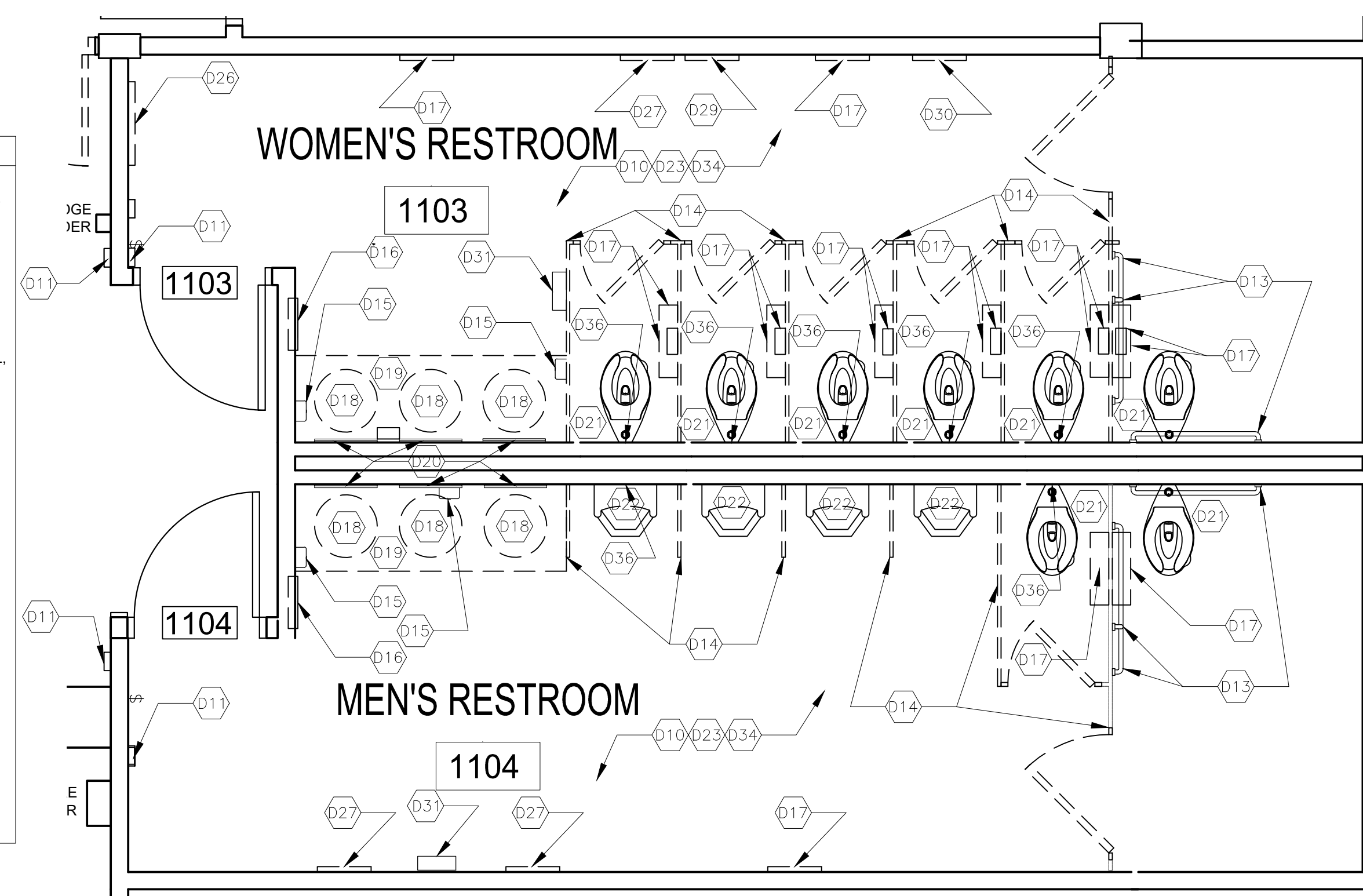
HOWERTON FIRST FLOOR KEY PLAN

GENERAL NOTES:

1. VERIFY WITH OWNER BEFORE REINSTALLING SALVAGED FIXTURES.
2. DIMENSIONS ARE TO THE FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
4. ALL CONTRACTORS MUST FOLLOW OSHA GUIDELINES FOR THE ENTIRETY OF THE CONSTRUCTION PROJECT THROUGH DEMOLITION AND RENOVATION WORK. CONTRACTORS SHALL BE OSHA CERTIFIED.

DEMOLITION PLAN TAG NOTES:

- | | | | |
|--|---|--|--|
| <p>D1 EXISTING INTERIOR WALL PARTITION(S) TO BE REMOVED TO EXTENTS SHOWN. REMOVE ALL EXISTING DATA AND ELECTRICAL OUTLETS IN DEMO WALLS. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL DEMO LOCATIONS.</p> <p>D2 EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND SALVAGED.</p> <p>D3 EXISTING DOOR, FRAME, AND HARDWARE TO BE REMOVED COMPLETELY. CONTRACTOR RESPONSIBLE FOR DISPOSAL.</p> <p>D4 EXISTING RECEPTION WINDOW, FRAME, AND COUNTER TO BE REMOVED. CONTRACTOR RESPONSIBLE FOR DISPOSAL.</p> <p>D5 EXISTING WINDOW AND FRAME TO BE REMOVED COMPLETELY. CONTRACTOR RESPONSIBLE FOR DISPOSAL.</p> <p>D6 CAREFULLY REMOVE EXISTING WALL MOUNTED TELEVISION AND MOUNTING HARDWARE. SALVAGE AND STORE FOR REINSTALLATION IN REVISED LAYOUT.</p> <p>D7 ALL EXISTING FLOORING AND TRANSITIONS TO BE REMOVED.</p> <p>D8 REFER TO MEP SHEETS FOR PLUMBING, ELECTRICAL, & MECHANICAL DEMOLITION</p> <p>D9 CAREFULLY REMOVE EXISTING WALL MOUNTED DISPLAY CASES AND MOUNTING HARDWARE. SALVAGE AND STORE FOR REINSTALLATION IN REVISED LAYOUT.</p> <p>D10 REMOVE ALL EXISTING VINYL COVE WALL BASE AND DISPOSE. WALL TRIM AND BASE THAT IS PART OF THE DEMOUNTABLE WALL SYSTEM SHALL BE REMOVED ONLY FOR CONSTRUCTION AND REPLACED UPON COMPLETION OF EACH PHASE. (REFER TO WALL SYMBOL KEY)</p> | <p>D11 EXISTING POWER ASSIST DOOR OPENERS TO BE REMOVED. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D12 REMOVE EXISTING GRAB BARS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D13 REMOVE EXISTING TOILET PARTITIONS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D14 REMOVE EXISTING SOAP DISPENSER.</p> <p>D15 REMOVE EXISTING COMBINATION UNIT. (PAPER TOWEL DISPENSER AND WASTE RECEPTACLE)</p> <p>D16 REMOVE EXISTING TOILET ACCESSORIES, INCLUDING TOILET TISSUE DISPENSER, SANITARY NAPKIN DISPOSAL, AND TOILET SEAT COVER DISPENSER. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D17 REMOVE EXISTING SINK & FAUCET. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. REFER TO SHEET P-101 FOR REMOVAL.</p> <p>D18 REMOVE EXISTING COUNTERTOP. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D19 REMOVE EXISTING MIRRORS ABOVE SINKS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> | <p>D20 EXISTING TOILETS TO BE REMOVED AND REPLACED WITH NEW FIXTURE. REFER TO SHEET P-101 FOR PLUMBING DETAILS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D21 EXISTING URINALS TO BE REMOVED AND REPLACED WITH NEW FIXTURE. REFER TO SHEET P-101 FOR PLUMBING DETAILS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D22 REMOVE EXISTING FLOOR FINISH IN ENTIRETY TO SUBSTRUCTURE BELOW, INCLUDING TILE, MASTIC, GROUT, AND UNDERLAYMENT.</p> <p>D23 CONTRACTOR TO COORDINATE WITH CONSTRUCTION ADMINISTRATOR FOR TEMPORARY DOOR UNTIL THE END OF CONSTRUCTION FOR PROTECTION OF NEW DOOR AND FRAME.</p> <p>D24 REMOVE EXISTING FULL LENGTH MIRROR. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL. RECYCLING IS RECOMMENDED.</p> <p>D25 REMOVE EXISTING HOOKS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D26 REMOVE EXISTING STOREFRONT DOORS AND DISCONNECT SECURITY HARDWARE.</p> <p>D27 REMOVE EXISTING STAINLESS STEEL PLATE. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D28 REMOVE EXISTING PLASTIC WALL MOUNTED FILE HOLDER. RECYCLING IS HIGHLY RECOMMENDED.</p> | <p>D29 REMOVE EXISTING PAPER TOWEL DISPENSER. RECYCLING IS HIGHLY RECOMMENDED.</p> <p>D30 REMOVE COMPLETE EXISTING MILLWORK CABINERY, COUNTERTOP, SINK, AND GARBAGE DISPOSAL. PROTECT ADJACENT SURFACES FROM DAMAGE TO THE GREATEST EXTENT POSSIBLE. REPAIR ADJACENT SURFACES TO ORIGINAL CONDITION, AS NEEDED.</p> <p>D31 REFER TO SHEETS D-101 - D-104 FOR PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION DEMOLITION.</p> <p>D32 REMOVE EXISTING SOAP DISH. CONTRACTOR RESPONSIBLE FOR DISPOSAL.</p> <p>D33 CONTRACTOR TO COORDINATE WITH PLUMBER TO REMOVE EXISTING SECTION OF VINYL COVER SHEET ROCK.</p> |
|--|---|--|--|



3 FIRST FLOOR RESTROOM ENLARGED DEMOLITION PLAN
SCALE: 3/8"=1'-0"



Brad M. Schaefer - Architect
MO# A-2009027294

BID DOCUMENTS

OFFICE OF
ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT / DESIGN
AND CONSTRUCTION
DEPARTMENT OF
SOCIAL SERVICES

MULTI. DIVISION

HOWERTON STATE
OFFICE BUILDING

RENOVATE LOBBY
AND RESTROOMS
1ST AND 2ND FLOOR
615 HOWERTON COURT
JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
DATE: 04/14/2025
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

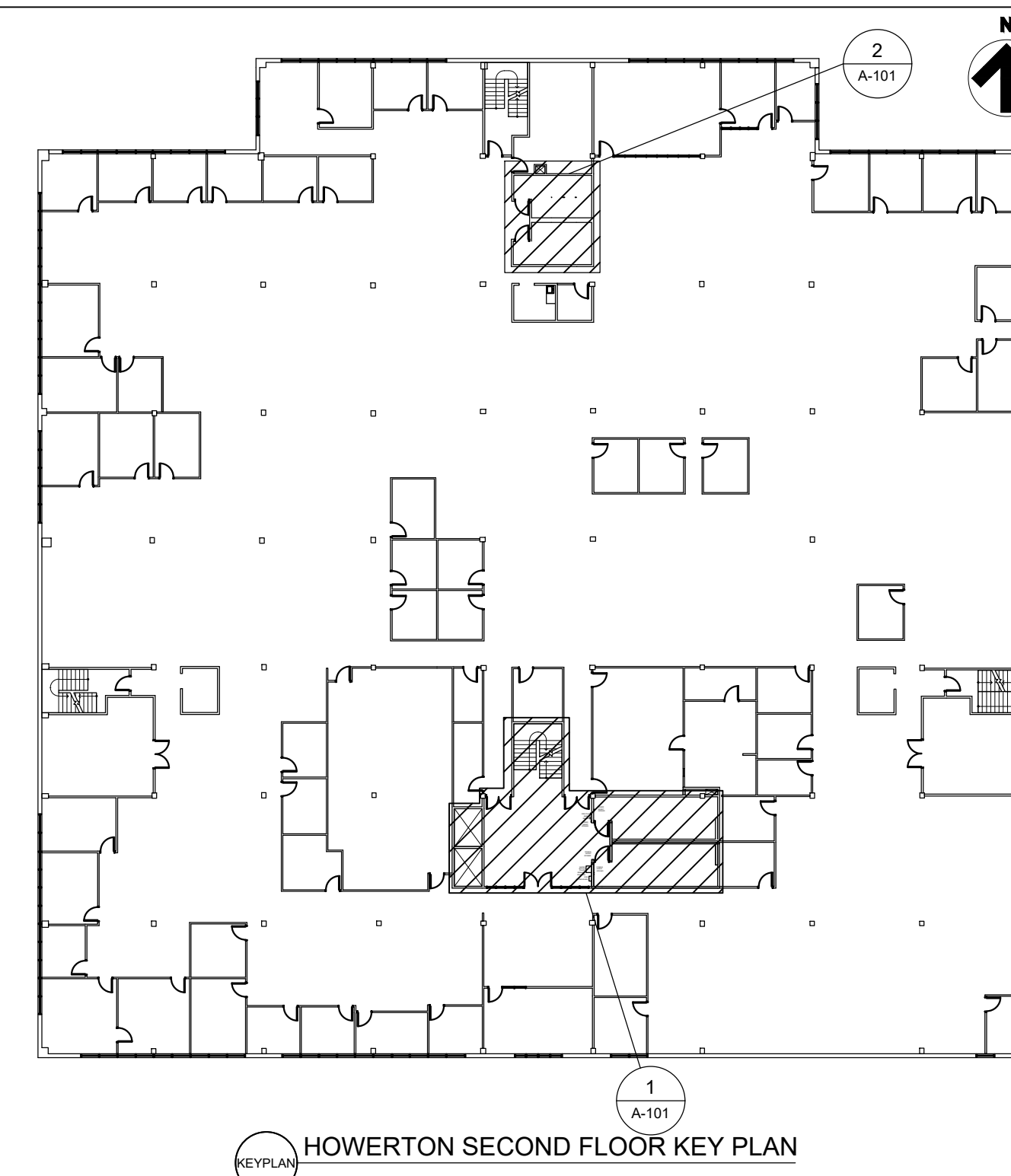
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DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

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**SECOND FLOOR
LOBBY & RESTROOM
DEMOLITION PLAN**

SHEET NUMBER:

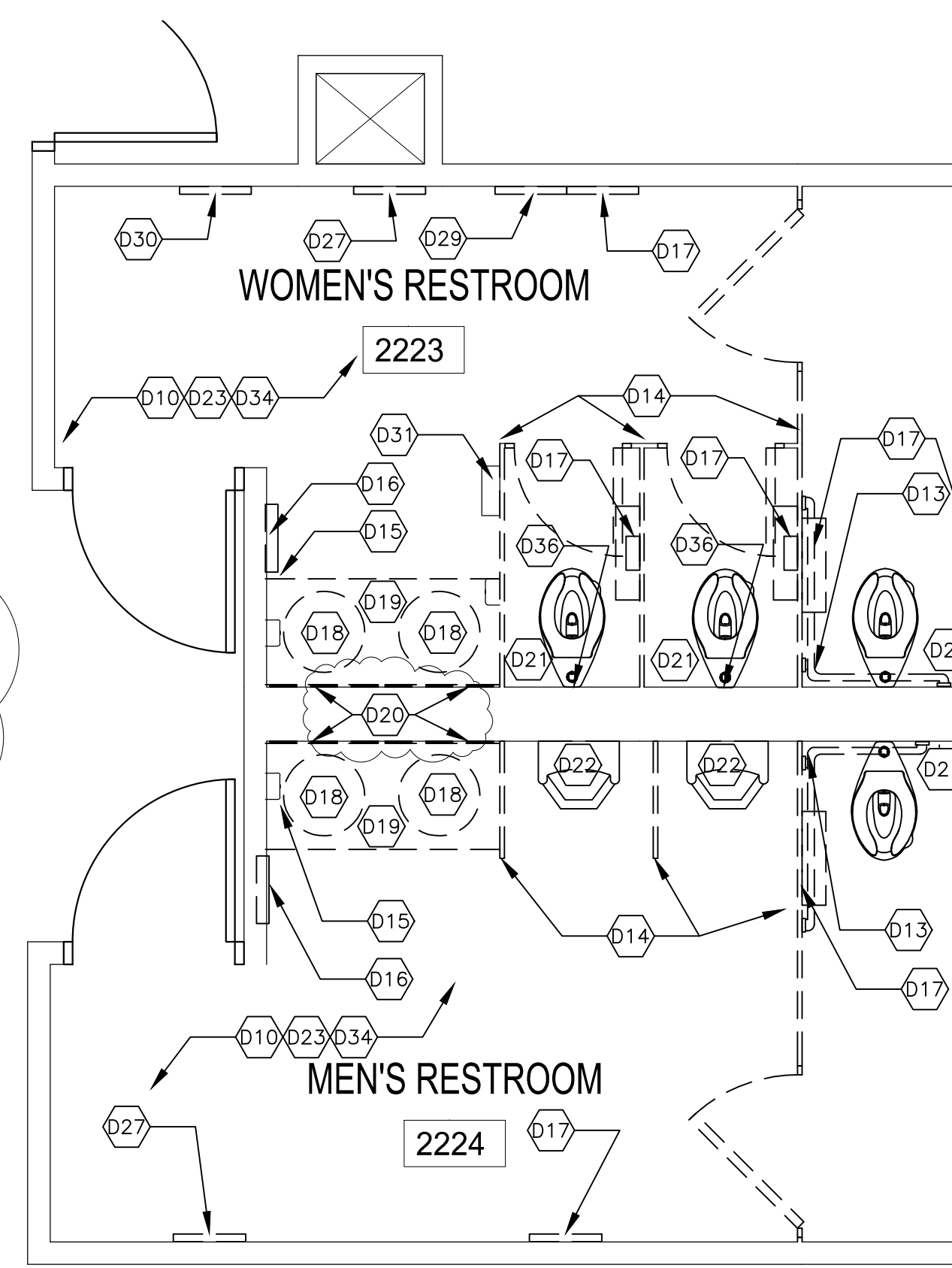
A-101

3 OF 38 SHEETS

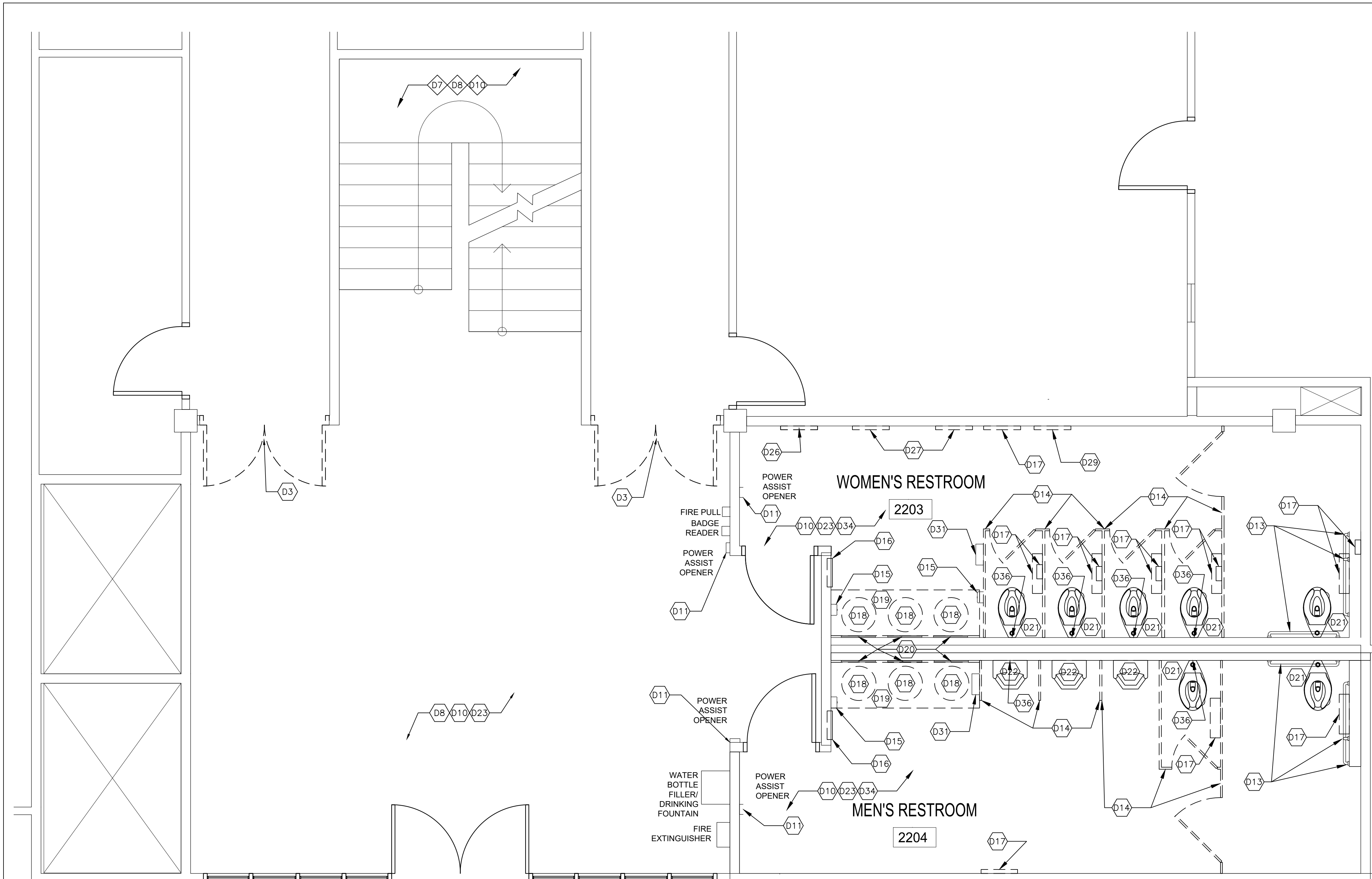


1 A-101
HOWERTON SECOND FLOOR KEY PLAN

- GENERAL NOTES:**
1. VERIFY WITH OWNER BEFORE REINSTALLING SALVAGED FIXTURES.
 2. DIMENSIONS ARE TO THE FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED.
 3. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
 4. ALL CONTRACTORS MUST FOLLOW OSHA GUIDELINES FOR THE ENTIRETY OF THE CONSTRUCTION PROJECT THROUGH DEMOLITION AND RENOVATION WORK. CONTRACTORS SHALL BE OSHA CERTIFIED.



2 A-101
SECOND FLOOR STAFF RESTROOM DEMOLITION PLAN
SCALE: 1/4"=1'-0"



1 A-101
SECOND FLOOR LOBBY AND RESTROOM DEMOLITION PLAN
SCALE: 1/4"=1'-0"

DEMOLITION PLAN TAG NOTES:

- | | | | |
|---|---|--|--|
| D1 EXISTING INTERIOR WALL PARTITION(S) TO BE REMOVED TO EXTENTS SHOWN. REMOVE ALL EXISTING DATA AND ELECTRICAL OUTLETS IN DEMO WALLS. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL DEMO LOCATIONS. | D17 EXISTING POWER ASSIST DOOR OPENERS TO BE REMOVED. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D21 EXISTING TOILETS TO BE REMOVED AND REPLACED WITH NEW FIXTURE. REFER TO SHEET P-101 FOR PLUMBING DETAILS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D31 REMOVE EXISTING PAPER TOWEL DISPENSER. RECYCLING IS HIGHLY RECOMMENDED. |
| D2 EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND SALVAGED. | D18 REMOVE EXISTING GRAB BARS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D22 EXISTING URINALS TO BE REMOVED AND REPLACED WITH NEW FIXTURE. REFER TO SHEET P-101 FOR PLUMBING DETAILS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D32 REMOVE COMPLETE EXISTING MILLWORK CABINETRY, COUNTERTOP, SINK, AND GARBAGE DISPOSAL. PROTECT ADJACENT SURFACES FROM DAMAGE TO THE GREATEST EXTENT POSSIBLE. REPAIR ADJACENT SURFACES TO ORIGINAL CONDITION, AS NEEDED. |
| D3 EXISTING DOOR, FRAME, AND HARDWARE TO BE REMOVED COMPLETELY. CONTRACTOR RESPONSIBLE FOR DISPOSAL. | D14 REMOVE EXISTING TOILET PARTITIONS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D23 REMOVE EXISTING FLOOR FINISH IN ENTIRETY TO SUBSTRUCTURE BELOW, INCLUDING TILE, MASTIC, GROUT, AND UNDERLAYMENT. | D34 REFER TO SHEETS D-101 - D-104 FOR PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION DEMOLITION. |
| D4 EXISTING RECEPTION WINDOW, FRAME, AND COUNTER TO BE REMOVED. CONTRACTOR RESPONSIBLE FOR DISPOSAL. | D13 REMOVE EXISTING SOAP DISPENSER. | D29 CONTRACTOR TO COORDINATE WITH CONSTRUCTION ADMINISTRATOR FOR TEMPORARY DOOR UNTIL THE END OF CONSTRUCTION FOR PROTECTION OF NEW DOOR AND FRAME. | D35 REMOVE EXISTING SOAP DISH. CONTRACTOR RESPONSIBLE FOR DISPOSAL. |
| D5 EXISTING WINDOW AND FRAME TO BE REMOVED COMPLETELY. CONTRACTOR RESPONSIBLE FOR DISPOSAL. | D19 REMOVE EXISTING COMBINATION UNIT (PAPER TOWEL DISPENSER AND WASTE RECEPTACLE). | D27 REMOVE EXISTING FULL LENGTH MIRROR. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL. RECYCLING IS RECOMMENDED. | D36 CONTRACTOR TO COORDINATE WITH PLUMBER TO REMOVE EXISTING SECTION OF VINYL COVER SHEET ROCK. |
| D6 CAREFULLY REMOVE EXISTING WALL MOUNTED TELEVISION AND MOUNTING HARDWARE. SALVAGE AND STORE FOR REINSTALLATION IN REVISED LAYOUT. | D17 REMOVE EXISTING TOILET ACCESSORIES, INCLUDING TOILET TISSUE DISPENSER, SANITARY NAPKIN DISPOSAL, AND TOILET SEAT COVER DISPENSER. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D28 REMOVE EXISTING HOOKS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | |
| D7 ALL EXISTING FLOORING AND TRANSITIONS TO BE REMOVED. | D16 REMOVE EXISTING SINK & FAUCET. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. REFER TO SHEET P-101 FOR REMOVAL. | D28 REMOVE EXISTING STOREFRONT DOORS AND DISCONNECT SECURITY HARDWARE. | |
| D8 REFER TO MEP SHEETS FOR PLUMBING, ELECTRICAL, & MECHANICAL DEMOLITION | D13 REMOVE EXISTING COUNTERTOP. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D29 REMOVE EXISTING STAINLESS STEEL PLATE. RECYCLING IS HIGHLY RECOMMENDED. | |
| D9 CAREFULLY REMOVE EXISTING WALL MOUNTED DISPLAY CASES AND MOUNTING HARDWARE. SALVAGE AND STORE FOR REINSTALLATION IN REVISED LAYOUT. | D18 REMOVE EXISTING MIRRORS ABOVE SINKS. CONTRACTOR RESPONSIBLE FOR DISPOSAL. RECYCLING IS HIGHLY RECOMMENDED. | D30 REMOVE EXISTING PLASTIC WALL MOUNTED FILE HOLDER. RECYCLING IS HIGHLY RECOMMENDED. | |
| D10 REMOVE ALL EXISTING VINYL COVE WALL BASE AND DISPOSE WALL TRIM AND BASE THAT IS PART OF THE DEMOUNTABLE WALL SYSTEM SHALL BE REMOVED ONLY FOR CONSTRUCTION AND REPLACED UPON COMPLETION OF EACH PHASE. (REFER TO WALL SYMBOL KEY) | | | |

WALL SYMBOL KEY:

- NEW WALL
- EXISTING WALL
- WALLS TO BE DEMOLISHED

SCALE: 3/16"=1'-0"

SCALE: 1/4"=1'-0"



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MO# A-2009027294

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DEPARTMENT OF
SOCIAL SERVICES

MULTI. DIVISION

HOWERTON STATE
OFFICE BUILDING

RENOVATE LOBBY
AND RESTROOMS
1ST AND 2ND FLOOR
615 HOWERTON COURT
JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
DATE: 04/14/2025
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

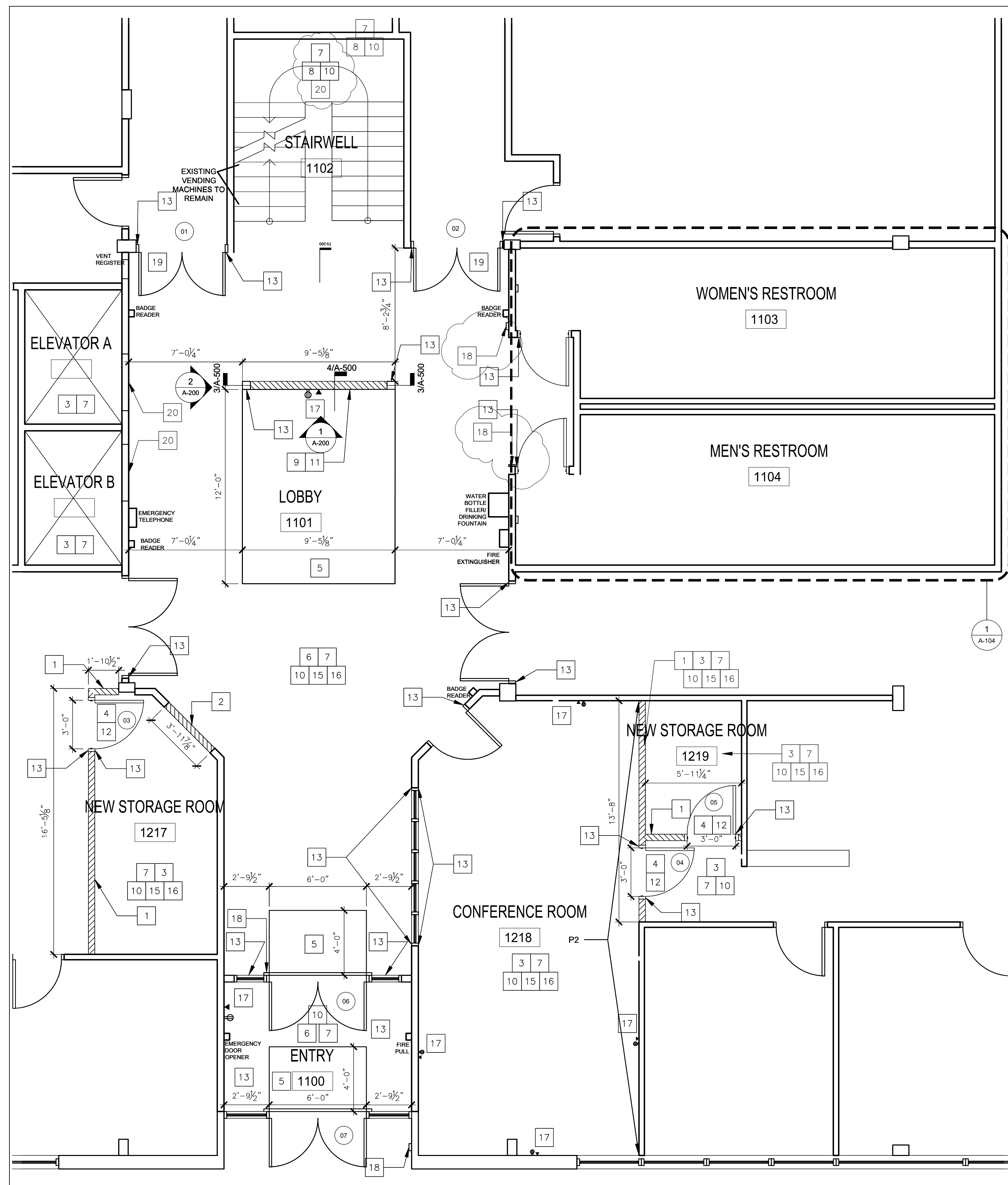
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DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
FIRST FLOOR
LOBBY
RENOVATION PLAN

SHEET NUMBER:

A-102

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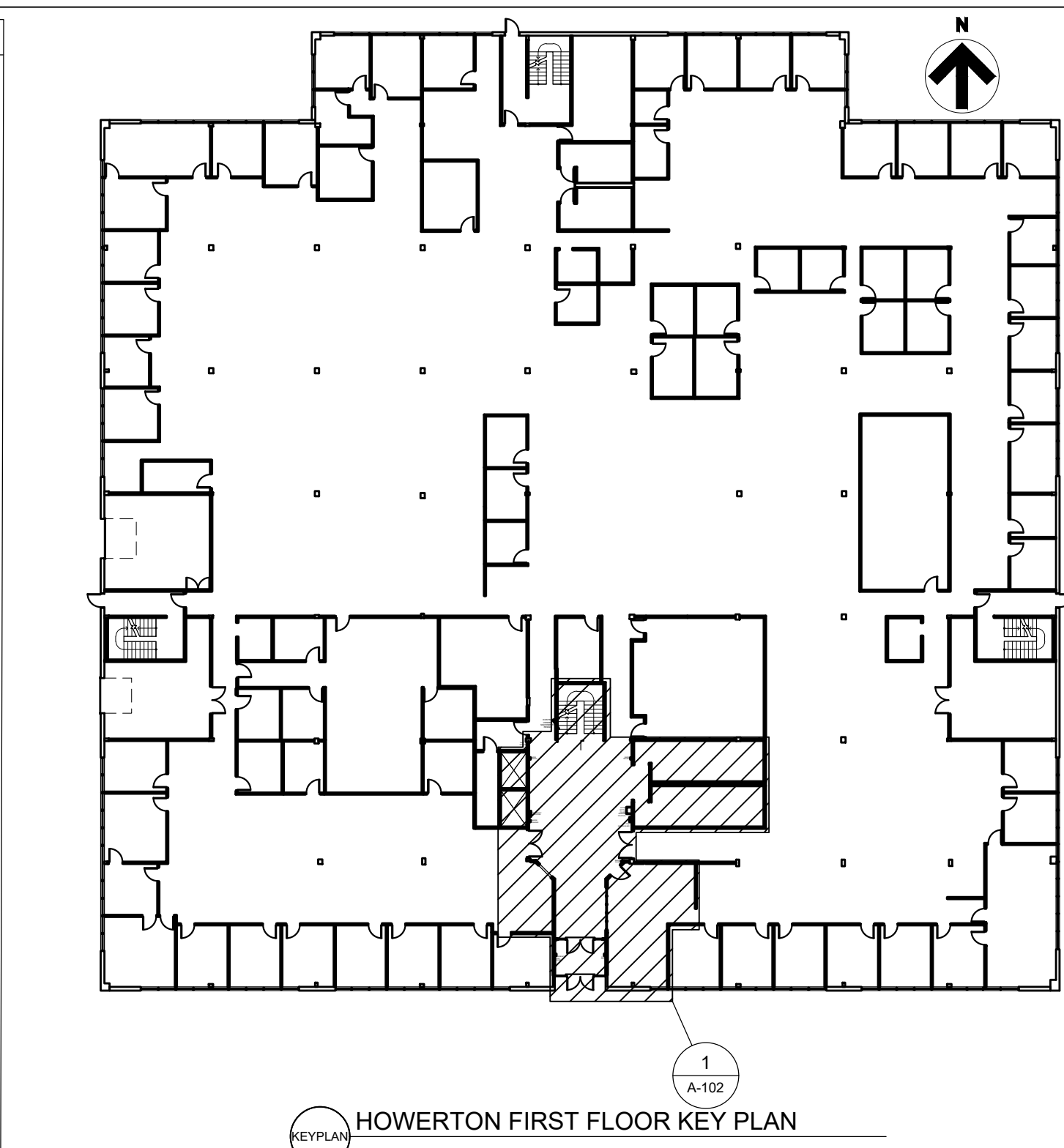


1 FIRST FLOOR LOBBY RENOVATION PLAN
SCALE: 1/4" = 1'-0"

- REVISED PLAN TAG NOTES:**
- 1 PROVIDE, BUILD, AND INSTALL WALLS SHOWN WITH HATCH. NEW DEMOUNTABLE WALL WITH -25 GA., 3-1/2" METAL STUDS @ 16" O.C. BOTH SIDES OF WALL SHALL BE PAINTED - (1) COAT PRIMER AND (2) COATS FINISH PAINT. (P1) BOTH SIDES OF WALL SHALL RECEIVE NEW WALL BASE MATERIAL.
 - 2 INSTALL NEW DEMOUNTABLE WALL, AS SHOWN, TO INFILL EXISTING WINDOW OPENING. NEW DEMOUNTABLE WALL SHALL MATCH EXISTING TO THE GREATEST EXTENT POSSIBLE.
 - 3 INSTALL NEW CUSTOMER-OWNED SHAW CARPET PLANK TILES (18" X 36") IN A ASHUR PATTERN WITH CUSTOMER-OWNED CARPET ADHESIVE. (C1) APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. CARPET STORED AT PORITE WAREHOUSE, CONTRACTOR RESPONSIBLE FOR PICKUP AND DELIVERY TO SITE.
 - 4 INSTALL EXISTING SALVAGED DOOR, HARDWARE AND DOOR FRAME IN LOCATIONS SHOWN.
 - 5 PROVIDE AND INSTALL WALK-OFF CARPET IN ENTRY 1100 AND LOBBY 1101. ACCORDING TO MANUFACTURERS SPECIFICATIONS (C2).
 - 6 PROVIDE AND INSTALL CERAMIC TILE. LAY IN BRICK PATTERN. GROUT TO BE LATICRETE #78 STERLING SILVER.
 - 7 PROVIDE AND INSTALL VINYL BASE ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (B1). REINSTALL DEMOUNTABLE WALL BASE AFTER PAINTING AND FLOORING HAS GONE DOWN.
 - 8 PROVIDE AND INSTALL STAIR TREAD/STAIR NOSING ON STAIRS (ST1). ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - 9 MOUNT CUSTOMER-OWNED TV ON FEATURE WALL. REFER TO SHEET I-200.
 - 10 PAINT ALL WALLS. ACCENT COLOR ON STAIRWELL WALLS AND WHERE SHOWN ON PLANS. (P1, P2, & P3)
 - 11 PROVIDE, BUILD, AND INSTALL FEATURE WALL. SEE ELEVATIONS ON SHEET A-201. (W1)
 - 12 PROVIDE AND INSTALL DOOR HARDWARE AND LOCKS ON NEW STORAGE ROOMS. HARDWARE TO MATCH EXISTING BUILDING STANDARD; SEE MAINTENANCE STAFF.
 - 13 PAINT DOOR FRAMES, WINDOW TRIM AND MULLIONS TO MATCH BUILDING STANDARD.
 - 14 REFER TO SHEETS P-101 & P-601 FOR PLUMBING DETAILS/RENOVATION PLANS.
 - 15 REFER TO SHEETS M-101 - M-103 FOR MECHANICAL RENOVATION PLANS.
 - 16 REFER TO SHEETS E-101 - E-103 FOR ELECTRICAL RENOVATION PLANS.
 - 17 INSTALL NEW ELECTRICAL OUTLETS AND DATA LINES WHERE SHOWN.
 - 18 PROVIDE AND INSTALL NEW POWER ASSIST OPENERS.
 - 19 PROVIDE AND INSTALL NEW DOORS, FRAMES, AND HARDWARE WHERE SHOWN. COORDINATE WITH CONSTRUCTION ADMINISTRATOR. REFER TO SHEET A-501 FOR DOOR FRAME DETAILS AND FOR DOOR AND FRAME SCHEDULE.
 - 20 PAINT ELEVATOR DOORS AND TRIM, STEEL TUBING, STAIR RAILING AND VENT REGISTERS. (P3)

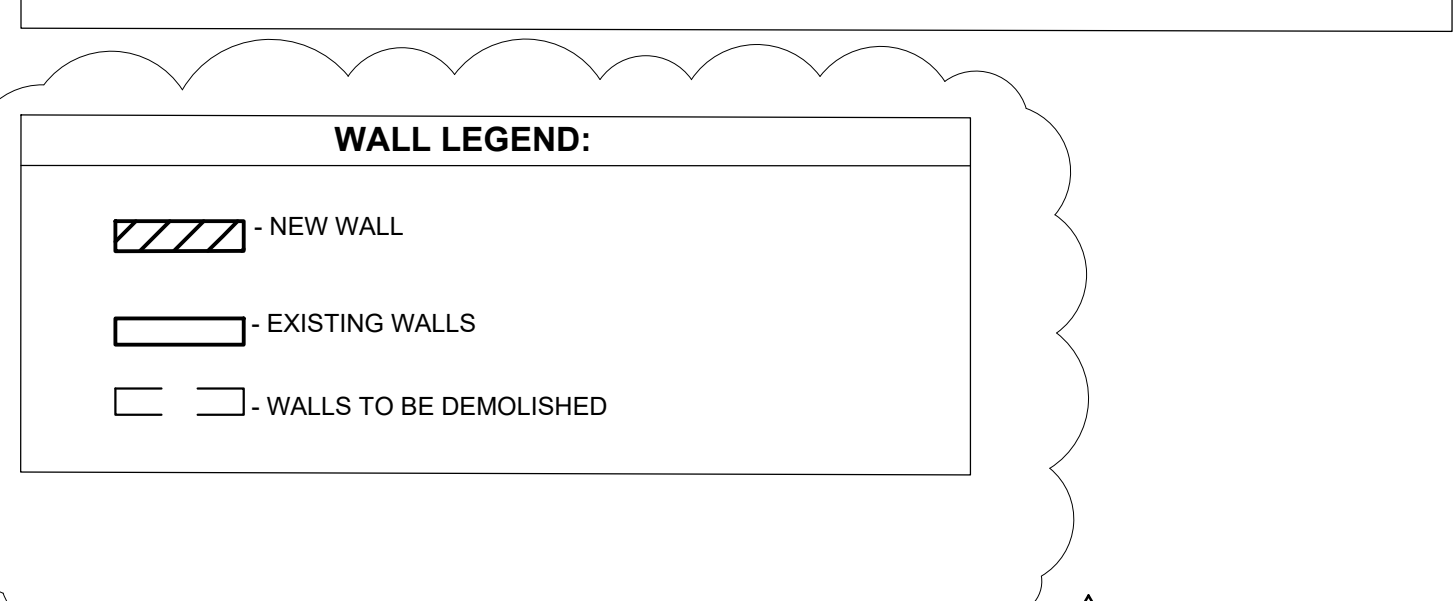
- FINISH SPECIFICATIONS:**
- (AC1) **ACOUSTICAL CEILING TILES:**
ARMSTRONG CEILING SOLUTIONS, STYLE - CALLA, 1" THICK SQUARE LAY-IN, REGULAR, COLOR - WHITE.
WALL BASE:
(B1) JOHNSONITE, STYLE - 4" STRAIGHT (TOELESS) VINYL BASE, COLOR - FUDGE, 167
- (C1) **CARPET TILE:**
SHAW CONTRACT, STYLE - KNOTTED TILE 5T301, COLOR - SILVER 01535.
ADHESIVE - SHAW LOKWORX+ CARPET TILE ADHESIVE
- (C2) **CARPET TILE:**
SHAW CONTRACT, STYLE - PORTAL TILE 5T035, COLOR - LAVA 34549
ADHESIVE - SHAW LOKWORX+ CARPET TILE ADHESIVE
- (CT1) **CERAMIC TILE:**
DAL TILE, STYLE - ARTICULO, COLOR - FEATURE BEIGE AR07, GROUT - LATICRETE #78 STERLING SILVER
- (ST1) **STAIR NOSING/STAIR TREAD:**
NORA BY INTERFACE, STYLE - NORAMANT ARAGO TREAD (ONE PIECE, INCLUDES STAIR RISER, NOSING, AND TREAD), COLOR - STAMINA 5172, ADHESIVE - USE MANUFACTURER'S RECOMMENDED ADHESIVE FOR INSTALLATION.
- (T1) **TRANSITION - CARPET TILE TO CERAMIC TILE:**
FUTURA, 4.5 MM TO 7MM LVT RAMP, ITEM# 402081 LVT 121 MF
- (T2) **TRANSITION - CARPET TILE TO CONCRETE:**
FUTURA, CARPET TILE TO LVT/NOTHING, ITEM# 402006 LVT 160 EA
- (T3) **TRANSITION - CARPET TILE TO LVT:**
FUTURA, 3MM TO 4.5 MM LVT NO-LIP RAMP, ITEM# 402021 LVT 125 MF
- ALL WALL PAINT SHALL HAVE AN EGG-SHELL FINISH. ALL DOORS, DOOR AND WINDOW FRAMES SHALL HAVE A SATIN LATEX ENAMEL WITH A WASHABLE/SCRUB-ABLE FINISH.
- (P1) **PAINT 1:**
PPG PITTSBURG PAINTS, SW7043 WORLDLY GRAY, FINISH: SATIN (PRIMARY PAINT)
- (P2) **PAINT 2: (ACCENT PAINT)**
PPG PITTSBURG PAINTS, SW6515 LEISURE BLUE, FINISH: SATIN (ACCENT PAINT)
- (P3) **PAINT 3:**
PPG PITTSBURG PAINTS, SW6991 BLACK MAGIC, FINISH: SATIN (STAIRWELL AND WINDOW FRAMES)
- (W1) **FEATURE WALL:**
STACKED WOOD, GEOMETRY COLLECTION, RHOMBUS PLAY, 14" X 48.5" PANELS

*FIXTURES CALLED OUT IN DRAWINGS ARE BASIS OF DESIGN ONLY. SEE SPECIFICATIONS FOR FURTHER DETAILS.



KEY PLAN HOWERTON FIRST FLOOR KEY PLAN

- GENERAL CONSTRUCTION NOTES:**
1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER WITH PROTECTION PROVIDED TO ANY BUILDING OCCUPANTS AND WORKERS PERFORMING THE WORK.
 2. ALL WORK SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO ADJACENT SURFACES THAT ARE NOT SHOWN TO BE WORKED ON OR REMOVED - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO REPAIR SURFACES AFFECTED BY THEIR WORK.
 3. ANY WORK THAT RESULTS IN EXCESSIVE NOISE, DUST OR DEBRIS MUST BE COORDINATED WITH BUILDING FACILITY STAFF AT LEAST TWO (2) WORKING DAYS IN ADVANCE.
 4. ANY WORK THAT REQUIRES THE NEED TO TEMPORARILY SHUT DOWN ANY OF THE BUILDING SYSTEMS MUST BE COORDINATED WITH BUILDING FACILITY STAFF AT LEAST FOUR (4) WORKING DAYS IN ADVANCE.
 5. CONTRACTOR SHALL PROVIDE NECESSARY DUST PROTECTION TO PREVENT DUST CREATED BY DEMOLITION/CONSTRUCTION ACTIVITIES TO ENTER SPACE(S) OUTSIDE THE WORK AREA, INCLUDING THROUGH THE HVAC SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY HVAC FILTERS CONTAMINATED WITH CONSTRUCTION DEBRIS.
 6. CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM ANY WORK NECESSARY TO PROVIDE THE SCOPE OF WORK SHOWN ON THE PLANS, EVEN IF NOT SPECIFICALLY NOTED OR SHOWN.
 7. CONTRACTOR SHALL PERFORM WORK BETWEEN THE HOURS OF 7AM TO 5PM AFTER SIGNING IN AND RECEIVING VISITOR'S BADGE.
 8. ALL MATERIALS/EQUIPMENT MAY BE DELIVERED TO THE FACILITY - FACILITY STAFF SHALL BE CONTACTED TEN (10) BUSINESS DAYS PRIOR TO DELIVERY OF MATERIALS/EQUIPMENT. CONTRACTOR SHALL BE SIGN FOR RECEIPT OF ALL MATERIALS/EQUIPMENT - FACILITY STAFF ARE NOT RESPONSIBLE FOR ACCEPTING OR SIGNING FOR DELIVERIES.
 9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE IBC, IFC, IMC, IPC, NEC AND ALL OTHER APPLICABLE ICC AND NFPA CODE FAMILIES.
 10. CONTRACTOR RESPONSIBLE FOR FIELD VERIFYING AS-BUILT CONDITIONS AND PROPOSED LAYOUT PRIOR TO PERFORMING WORK. CONTRACTOR SHALL NOTIFY FMDC PROJECT MANAGER IF THERE ARE ANY DISCREPANCIES OR CONFLICTS.
 11. DETAILS OF EXISTING CONDITIONS PROVIDED AS A COURTESY. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR FROM PERFORMING A COMPLETE NECESSARY FIELD INVESTIGATIVE WORK TO FULLY UNDERSTAND EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
 12. DATA AND PHONE LINE WORK TO BE PERFORMED BY OTHERS (NIC).
 13. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL RATED PARTITIONS, CEILING ASSEMBLIES AND DOOR ASSEMBLIES. THE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS WHERE ANY WORK PERFORMED BY THE CONTRACTOR AFFECTS THE INTEGRITY OF THESE ITEMS.
 14. DIMENSIONS PROVIDED ARE MEASURED FROM EXISTING DRYWALL FACE TO NEW DRYWALL FACE UNLESS OTHERWISE NOTED.
 15. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND WALL COMPONENTS FOR NEW DOOR FRAME INSTALLATION.
 16. CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR NEW SOLID SURFACE COUNTERTOP INSTALLATION.



DOOR AND FRAME SCHEDULE														
MARK	DOOR			FRAME					FIRE RATING LABEL	HARDWARE		NOTES		
	SIZE			MATL	GLAZING	MATL	EL	DETAIL			SET NO		KEYSIDE RM NO	
	WD	HGT	THK					HEAD		JAMB				SILL
1	5'-4"	7'-0"	1 3/4"	WOOD	YES	H.M.	2/5	8	10	--	B LABEL	5	1101	COORD. SECURITY HARDWARE
2	5'-4"	7'-0"	1 3/4"	WOOD	YES	H.M.	2/5	8	10	--	B LABEL	4	1101	COORD. SECURITY HARDWARE
3	3'-0"	7'-0"	1 3/4"	WOOD	NO	H.M.	1/4	7	10	--	B LABEL	7	--	--
4	3'-0"	7'-0"	1 3/4"	WOOD	NO	H.M.	1/4	7	10	--	B LABEL	6	--	COORD. SECURITY HARDWARE
5	3'-0"	7'-0"	1 3/4"	WOOD	NO	H.M.	1/4	7	10	--	B LABEL	7	--	--
6	6'-0"	7'-0"	1 3/4"	GLAZED	YES	ALUMINIUM	3	--	--	9	--	3	1100	COORD. SECURITY HARDWARE
7	6'-0"	7'-0"	1 3/4"	GLAZED	YES	ALUMINIUM	3	--	--	9	--	2	EXT.	COORD. SECURITY HARDWARE

REFER TO SHEET A-501 FOR DOOR DETAILS AND HARDWARE.

ROOM FINISH SCHEDULE							
NUMBER	ROOM NAME	AREA	FINISH				NOTES
			PAINT	FLOORING	WALL BASE		
	ELEVATOR B	50 Sq.Ft.	--	C1	B1		ELEVATOR DOORS AND TRIM TO BE P3.
	ELEVATOR A	50 Sq.Ft.	--	C1	B1		ELEVATOR DOORS AND TRIM TO BE P3.
1100	ENTRY	93 Sq.Ft.	P1	C2/CT1	B1		
1101	LOBBY	886 Sq.Ft.	P1	C1/CT1	B1		FLOORING TRANSITION TO BE T1.
1102	STAIRWELL	136 Sq.Ft.	P2	ST1	B1		STAIR STRINGERS AND BALUSTERS TO BE P3.
1103	WOMEN'S RESTROOM	258 Sq.Ft.	P1	CT1	B1		
1104	MEN'S RESTROOM	260 Sq.Ft.	P1	CT1	B1		
1217	NEW STORAGE ROOM	113 Sq.Ft.	P1	C1	B1		
1218	CONFERENCE ROOM	376 Sq.Ft.	P1/P2	C1	B1		
1219	NEW STORAGE ROOM	49 Sq.Ft.	P1	C1	B1		



Brad M. Schaefer - Architect
MO# A-2009027294

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HOWERTON STATE
OFFICE BUILDING

RENOVATE LOBBY
AND RESTROOMS
1ST AND 2ND FLOOR
615 HOWERTON COURT
JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
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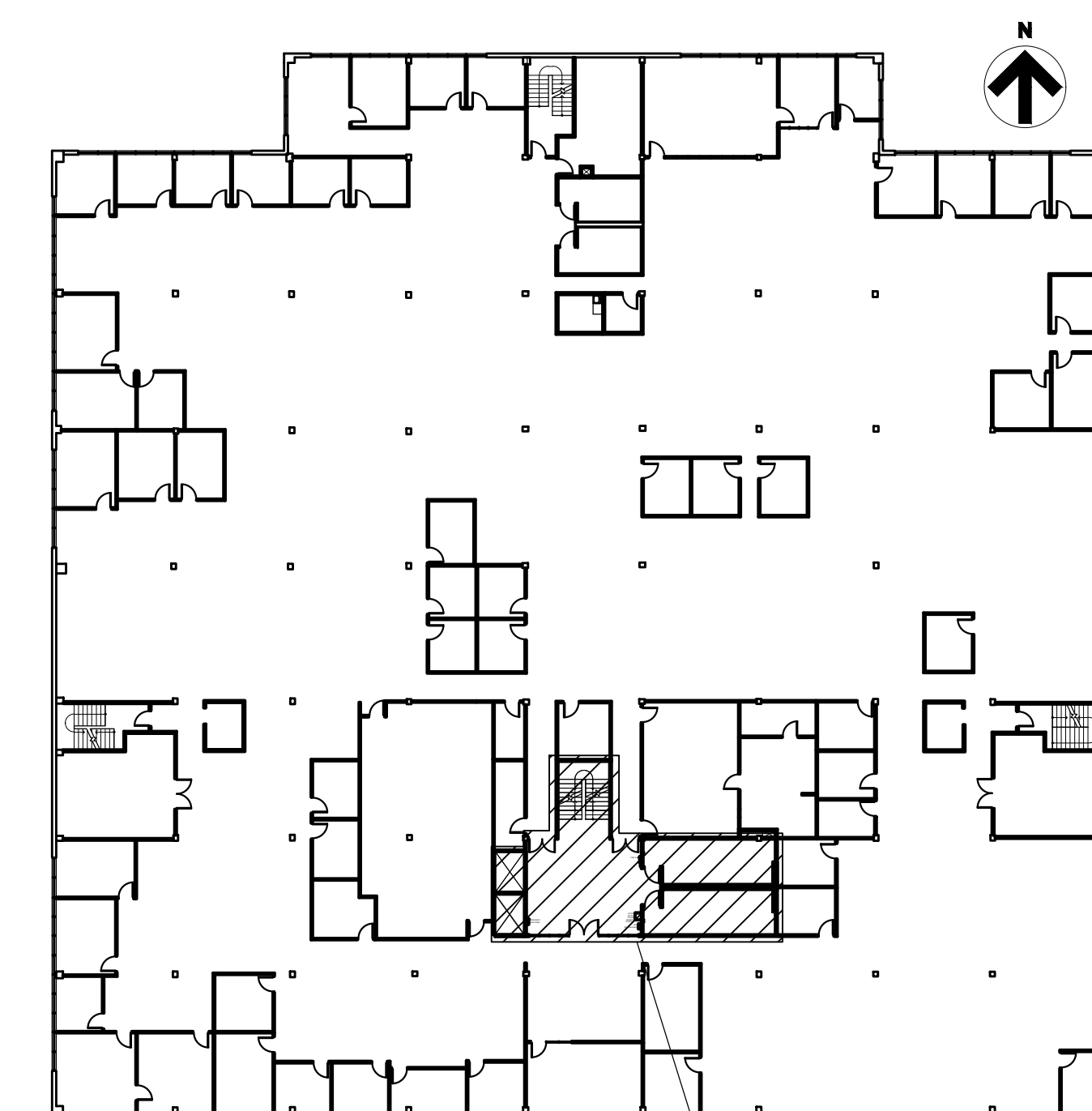
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SHEET TITLE:
**SECOND FLOOR
LOBBY
RENOVATION PLAN**

SHEET NUMBER:

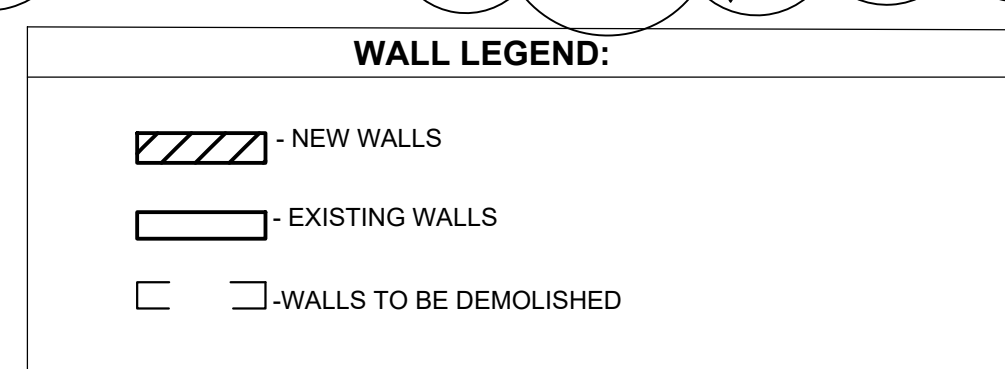
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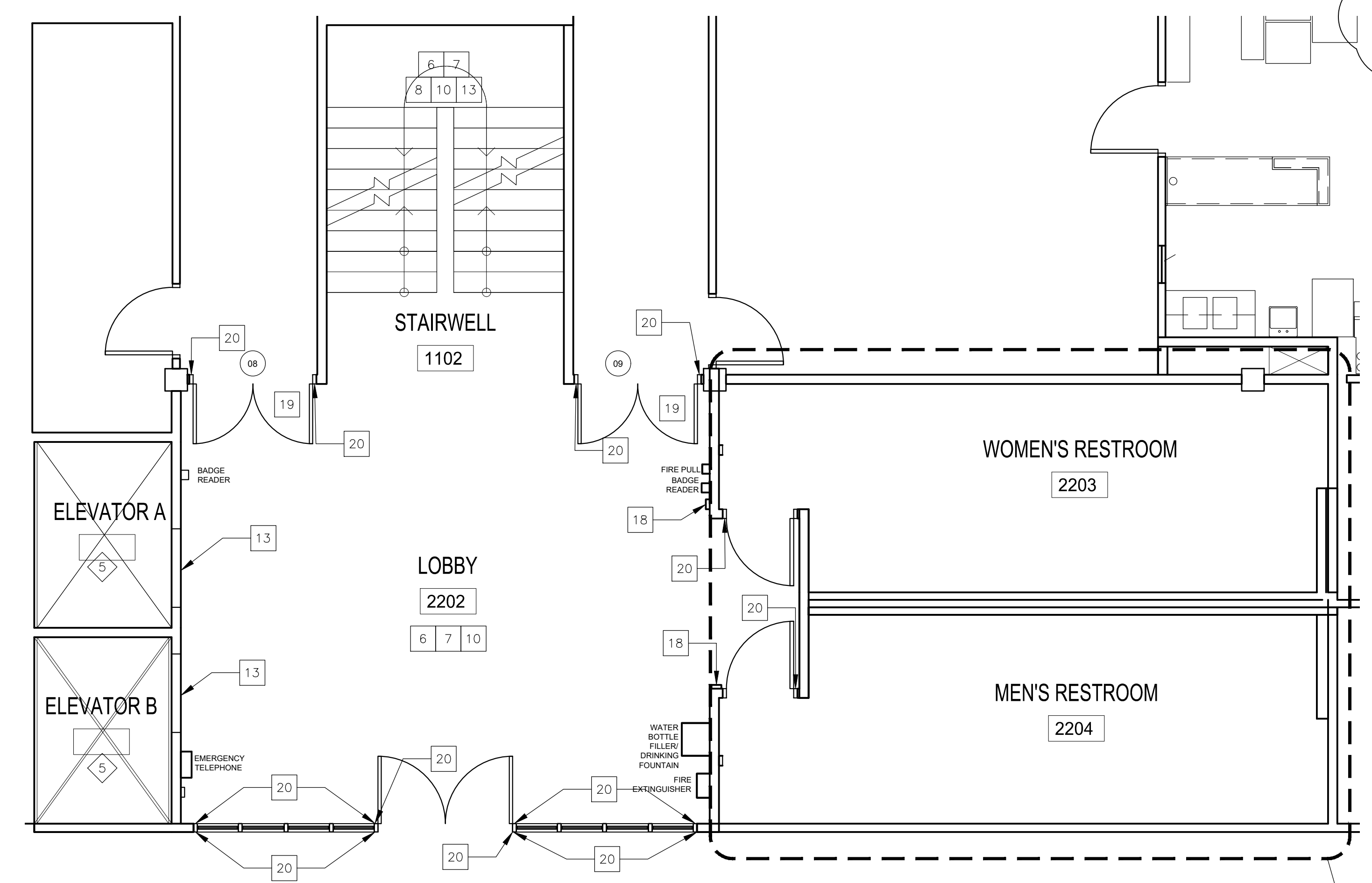
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A-103
KEYPLAN
HOWERTON SECOND FLOOR KEY PLAN

- REVISED PLAN TAG NOTES:**
- 6 PROVIDE AND INSTALL CERAMIC TILE. LAY IN BRICK PATTERN.
 - 7 PROVIDE AND INSTALL VINYL BASE ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (B1). REINSTALL DEMOUNTABLE WALL BASE AFTER PAINTING AND FLOORING HAS GONE DOWN.
 - 8 PROVIDE AND INSTALL STAIR TREAD/STAIR NOSING ON STAIRS (ST1). ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - 10 PAINT ALL WALLS. ACCENT COLOR ON STAIRWELL WALLS AND WHERE SHOWN ON PLANS. (P1, P2, & P3)
 - 13 PAINT ELEVATOR DOORS AND TRIM, DOOR FRAMES, STEEL TUBING, STAIR RAILING AND VENT REGISTERS. (P3)
 - 14 REFER TO SHEETS P-101 & P-601 FOR PLUMBING DETAILS/RENOVATION PLANS.
 - 15 REFER TO SHEETS M-101 - M-103 FOR MECHANICAL RENOVATION PLANS.
 - 16 REFER TO SHEETS E-101 - E-103 FOR ELECTRICAL RENOVATION PLANS.
 - 18 PROVIDE AND INSTALL NEW POWER ASSIST OPENERS.
 - 19 PROVIDE AND INSTALL NEW DOORS, FRAMES, AND HARDWARE WHERE SHOWN. COORDINATE WITH CONSTRUCTION ADMINISTRATOR. REFER TO SHEET A501 FOR FRAME DETAILS AND FOR DOOR AND FRAME SCHEDULE.
 - 20 PAINT DOOR FRAMES, WINDOW TRIM AND MULLIONS TO MATCH BUILDING STANDARD



- FINISH SPECIFICATIONS:**
- (AC1) **ACOUSTICAL CEILING TILES:**
ARMSTRONG CEILING SOLUTIONS, STYLE - CALLA, 1" THICK SQUARE LAY-IN, TEGULAR, COLOR - WHITE.
 - (B1) **WALL BASE:**
JOHNSONITE, STYLE - 4" STRAIGHT (TOELESS) VINYL BASE, COLOR - WHISPERING MIST, VL2
 - (C1) **CARPET TILE:**
SHAW CONTRACT, STYLE - KNOTTED TILE ST301, COLOR - SILVER 01535, ADHESIVE - SHAW LOKWORX+ CARPET TILE ADHESIVE
 - (C2) **WALK OFF CARPET TILE:**
SHAW CONTRACT, STYLE - PORTAL TILE ST035, COLOR - LAVA 34549, ADHESIVE - SHAW LOKWORX+ CARPET TILE ADHESIVE
 - (CT1) **CERAMIC TILE:**
DAL TILE, STYLE - ARTICULO, COLOR - FEATURE BEIGE AR07, GROUT - LATICRETE #78 STERLING SILVER
 - (ST1) **STAIR NOSING/STAIR TREAD:**
NORA BY INTERFACE, STYLE - NORAMENT ARAGO TREAD (ONE PIECE, INCLUDES STAIR RISER, NOSING, AND TREAD), COLOR - STAMINA 5172, ADHESIVE - USE MANUFACTURER'S RECOMMENDED ADHESIVE FOR INSTALLATION.
 - (T1) **TRANSITION - CARPET TILE TO CERAMIC TILE:**
FUTURA, 4.5 MM TO 7MM LVT RAMP, ITEM# 402081 LVT 121 MF
 - (T2) **TRANSITION - CARPET TILE TO CONCRETE:**
FUTURA, CARPET TILE TO LVT/NOTHING, ITEM# 402006 LVT 160 EA
 - (T3) **TRANSITION - CARPET TILE TO LVT:**
FUTURA, 3MM TO 4.5 MM LVT NO-LIP RAMP, ITEM# 402021 LVT 125 MF
- ALL WALL PAINT SHALL HAVE AN EGG-SHELL FINISH. ALL DOORS, DOOR AND WINDOW FRAMES SHALL HAVE A SATIN LATEX ENAMEL WITH A WASHABLE/SCRUB-ABLE FINISH.
- (P1) **PAINT 1:**
PPG PITTSBURG PAINTS, SW7043 WORLDLY GRAY, FINISH: SATIN (PRIMARY PAINT)
 - (P2) **PAINT 2: (ACCENT PAINT)**
PPG PITTSBURG PAINTS, SW6515 LEISURE BLUE, FINISH: SATIN (ACCENT PAINT)
 - (P3) **PAINT 3:**
PPG PITTSBURG PAINTS, SW6991 BLACK MAGIC, FINISH: SATIN (STAIRWELL AND WINDOW FRAMES)
 - (W1) **FEATURE WALL:**
STACKED WOOD, GEOMETRY COLLECTION, RHOMBUS PLAY, 14" X 48.5" PANELS
- *FIXTURES CALLED OUT IN DRAWINGS ARE BASIS OF DESIGN ONLY. SEE SPECIFICATIONS FOR FURTHER DETAILS.

- GENERAL CONSTRUCTION NOTES:**
1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER WITH PROTECTION PROVIDED TO ANY BUILDING OCCUPANTS AND WORKERS PERFORMING THE WORK.
 2. ALL WORK SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO ADJACENT SURFACES THAT ARE NOT SHOWN TO BE WORKED ON OR REMOVED - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO REPAIR SURFACES AFFECTED BY THEIR WORK.
 3. ANY WORK THAT RESULTS IN EXCESSIVE NOISE, DUST OR DEBRIS MUST BE COORDINATED WITH BUILDING FACILITY STAFF AT LEAST TWO (2) WORKING DAYS IN ADVANCE.
 4. ANY WORK THAT REQUIRES THE NEED TO TEMPORARILY SHUT DOWN ANY OF THE BUILDING SYSTEMS MUST BE COORDINATED WITH BUILDING FACILITY STAFF AT LEAST FOUR (4) WORKING DAYS IN ADVANCE.
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 6. CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM ANY WORK NECESSARY TO PROVIDE THE SCOPE OF WORK SHOWN ON THE PLANS, EVEN IF NOT SPECIFICALLY NOTED OR SHOWN.
 7. CONTRACTOR SHALL PERFORM WORK BETWEEN THE HOURS OF 7AM TO 5PM AFTER SIGNING IN AND RECEIVING VISITOR'S BADGE.
 8. ALL MATERIALS/EQUIPMENT MAY BE DELIVERED TO THE FACILITY - FACILITY STAFF SHALL BE CONTACTED TEN (10) BUSINESS DAYS PRIOR TO DELIVERY OF MATERIALS/EQUIPMENT. CONTRACTOR SHALL BE SIGN FOR RECEIPT OF ALL MATERIALS/EQUIPMENT - FACILITY STAFF ARE NOT RESPONSIBLE FOR ACCEPTING OR SIGNING FOR DELIVERIES.
 9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE IBC, IFC, IMC, IPC, NEC AND ALL OTHER APPLICABLE ICC AND NFPA CODE FAMILIES.
 10. CONTRACTOR RESPONSIBLE FOR FIELD VERIFYING AS-BUILT CONDITIONS AND PROPOSED LAYOUT PRIOR TO PERFORMING WORK. CONTRACTOR SHALL NOTIFY FMDC PROJECT MANAGER IF THERE ARE ANY DISCREPANCIES OR CONFLICTS.
 11. DETAILS OF EXISTING CONDITIONS PROVIDED AS A COURTESY. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR FROM PERFORMING A COMPLETE NECESSARY FIELD INVESTIGATIVE WORK TO FULLY UNDERSTAND EXISTING CONDITIONS PRIOR TO SUBMITTING BID.
 12. DATA AND PHONE LINE WORK TO BE PERFORMED BY OTHERS (NIC).
 13. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL RATED PARTITIONS, CEILING ASSEMBLIES AND DOOR ASSEMBLIES. THE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS WHERE ANY WORK PERFORMED BY THE CONTRACTOR AFFECTS THE INTEGRITY OF THESE ITEMS.
 14. DIMENSIONS PROVIDED ARE MEASURED FROM EXISTING DRYWALL FACE TO NEW DRYWALL FACE UNLESS OTHERWISE NOTED.
 15. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND WALL COMPONENTS FOR NEW DOOR FRAME INSTALLATION.
 16. CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR NEW SOLID SURFACE COUNTERTOP INSTALLATION.



1
A-105
SECOND FLOOR LOBBY RENOVATION PLAN
SCALE: 1/4" = 1'-0"

DOOR AND FRAME SCHEDULE														
MARK	DOOR				FRAME				FIRE RATING LABEL	HARDWARE		NOTES		
	WD	HGT	THK	MATL	GLAZING	MATL	EL	HEAD		JAMB	SILL		SET NO	KEYSIDE RM NO
8	5'-4"	6'-10"	1 3/4"	WOOD	YES	H.M.	2/5	8	9	--	B LABEL	5	2202	COORD. SECURITY HARDWARE
9	5'-4"	6'-10"	1 3/4"	WOOD	YES	H.M.	2/5	8	9	--	B LABEL	4	2202	COORD. SECURITY HARDWARE

REFER TO SHEET A-501 FOR DOOR DETAILS AND HARDWARE

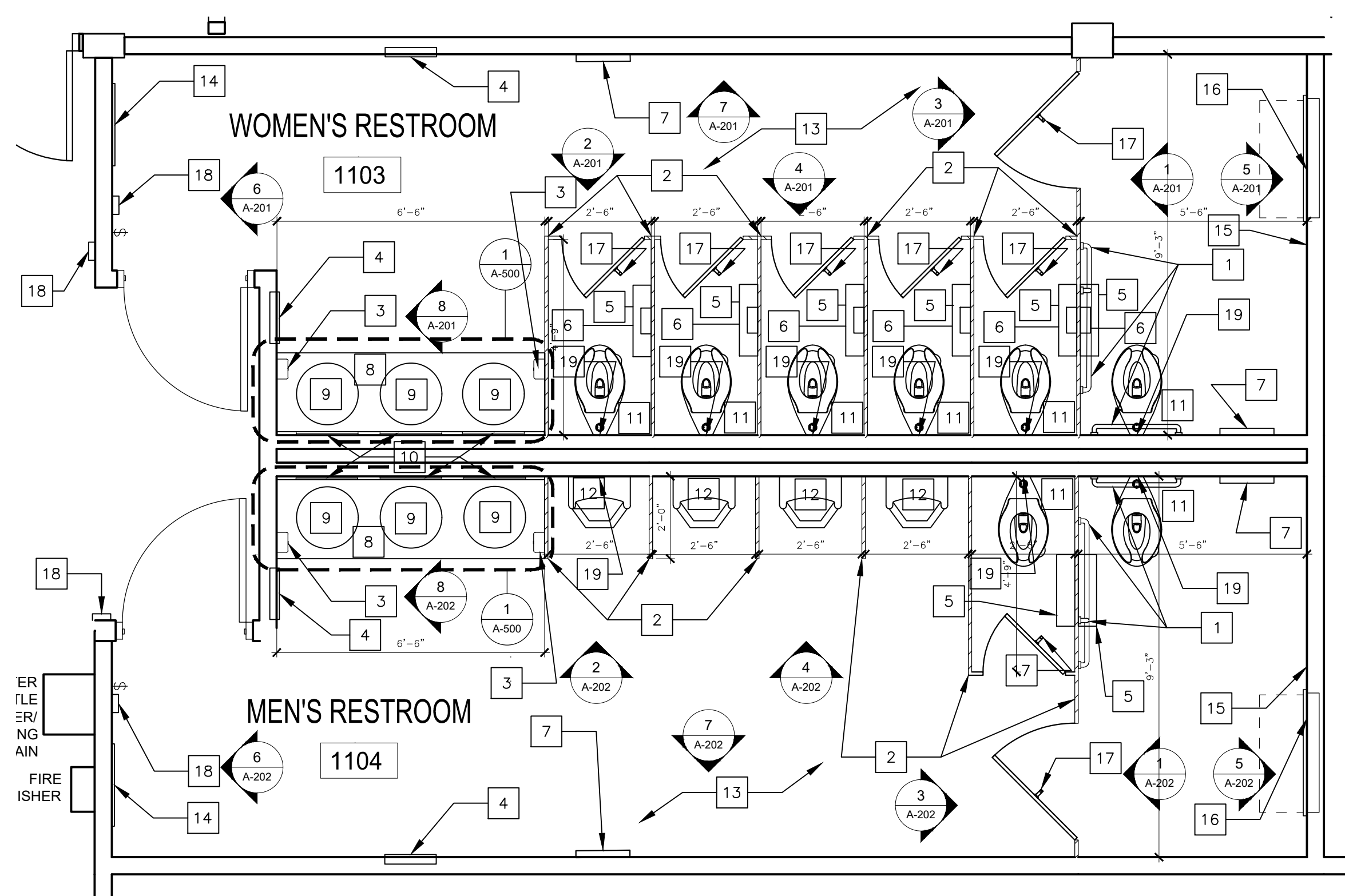
ROOM FINISH SCHEDULE							
NUMBER	ROOM	AREA	FINISH				NOTES
			PAINT	FLOORING	WALL BASE		
	ELEVATOR B	51 Sq.Ft.	P3	C1	B1	ELEVATORS AND TRIM TO BE P3.	
	ELEVATOR A	51 Sq.Ft.	P3	C1	B1	ELEVATORS AND TRIM TO BE P3.	
1102	STAIRWELL	169 Sq.Ft.	P2	ST1	B1		
2202	LOBBY	493 Sq.Ft.	P1	CT1	B1	FLOORING TRANSITION TO BE T1.	
2203	WOMEN'S RESTROOM	241 Sq.Ft.	P1	CT1	B1		
2204	MEN'S RESTROOM	242 Sq.Ft.	P1	CT1	B1		

NOTE: ALL AREAS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY

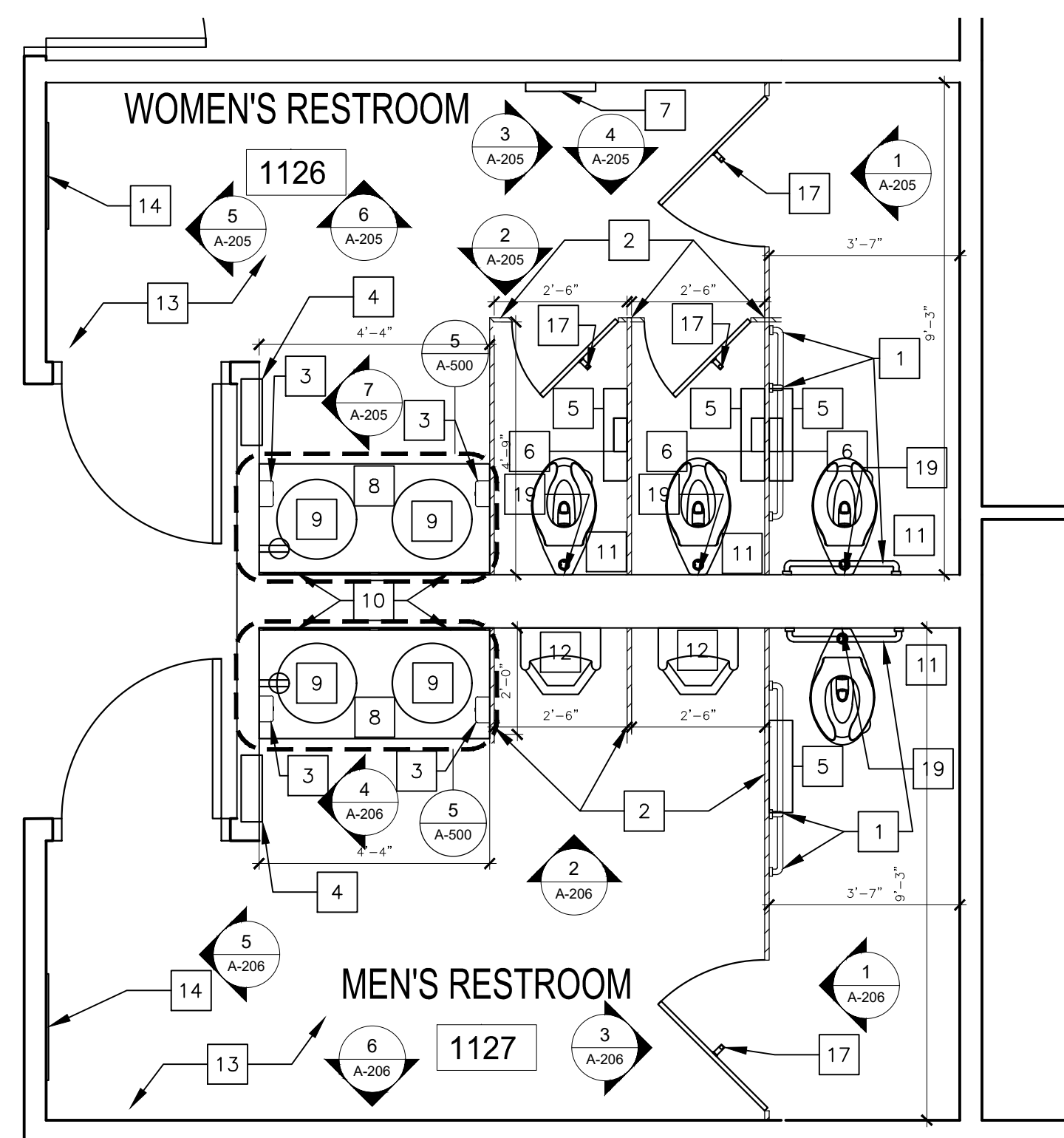


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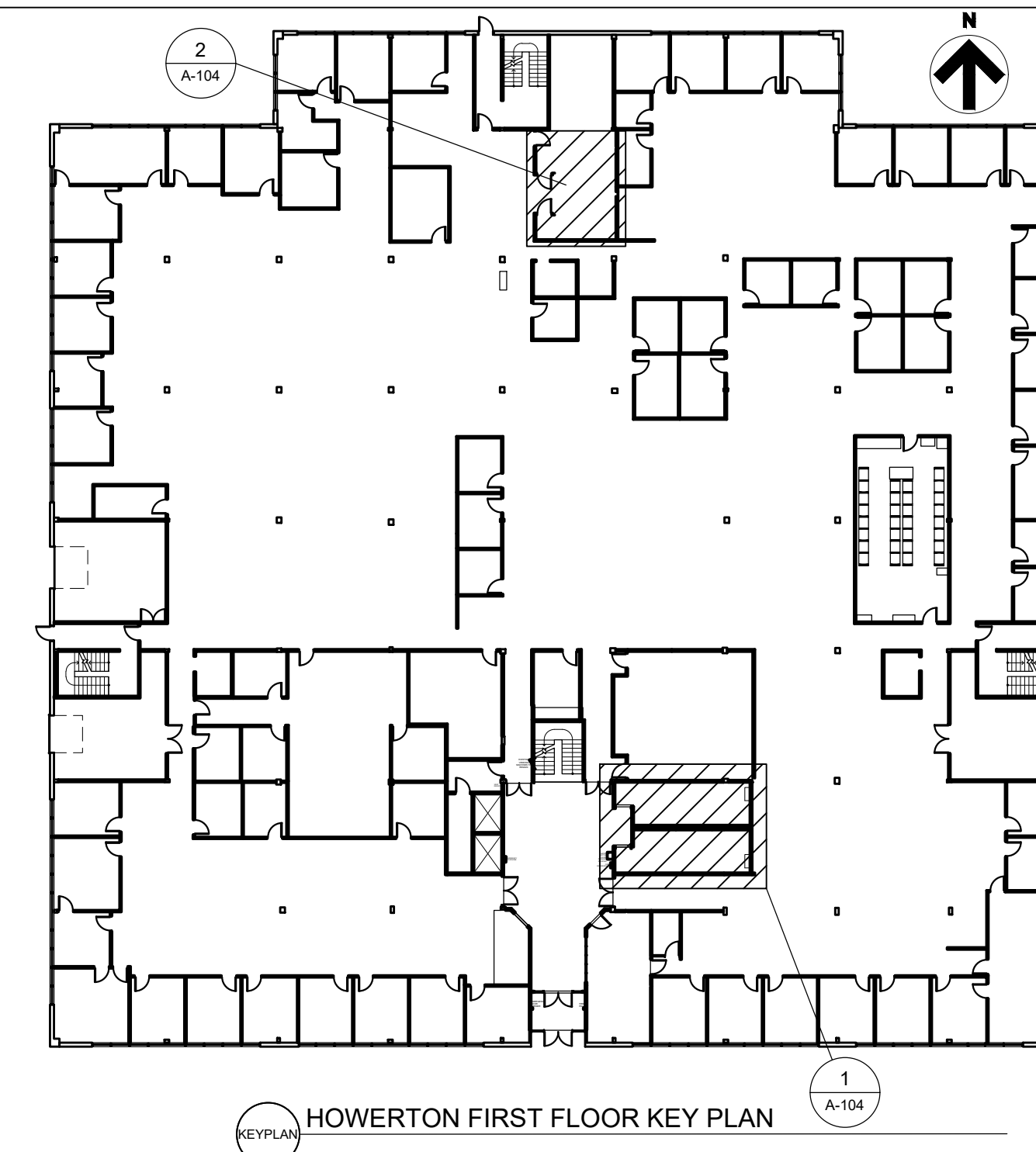
**BID
DOCUMENTS**



1 FIRST FLOOR - RESTROOM RENOVATION PLAN
SCALE: 3/8" = 1'-0"



2 FIRST FLOOR - STAFF RESTROOM RENOVATION PLAN
SCALE: 3/8" = 1'-0"



KEY PLAN HOWERTON FIRST FLOOR KEY PLAN

ROOM FINISH SCHEDULE												
NUMBER	ROOM	NAME	PERIMETER	AREA	PAINT	FLOORING	CEILING	COUNTERTOP	TOILET PARTITIONS	WALL BASE	CEILING HEIGHT	NOTES
1103	WOMEN'S RESTROOM		79'-4"	271 Sq.Ft.	P-1	CT-1	ACT-1	SS-1	SS-2	B-1	8'-8"	--
1104	MEN'S RESTROOM		79'-4"	275 Sq.Ft.	P-1	CT-1	ACT-1	SS-1	SS-2	B-1	8'-8"	--
1126	WOMEN'S RESTROOM		51'-3"	136 Sq.Ft.	P-1	CT-1	ACT-1	SS-1	SS-2	B-1	8'-8"	--
1127	MEN'S RESTROOM		52'-3"	144 Sq.Ft.	P-1	CT-1	ACT-1	SS-2	SS-2	B-1	8'-8"	--

P-1 PPG PAINT, COLOR MATCH: SHERWIN WILLIAMS SW7003 WORLDLY GRAY
CT-1 DAL TILE, ARTICULO, FEATURE BEIGE, 12" X 24"
ACT-1 ARMSTRONG, CALLA 1" THICK SQUARE LAY-IN, TEGULAR, WHITE ACOUSTICAL CEILING TILE, 24" X 24"
SS-1 CORIAN, DOMINO TERAZZO
SS-2 PRIVACY PLUS PARTITIONS, CEILING HUNG, CORIAN, GRAY ONYX
B-1 JOHNSONITE, TRADITIONAL VINYL 1/2" WALL BASE, FUDGE 167

RESTROOM FIXTURE SCHEDULE					
MARK	PRODUCT	DESCRIPTION	MANUFACTURER	QTY	REMARKS
GB-1	GRAB BAR	36" LONG, 1-1/2" DIAMETER, STRAIGHT GRAB BAR, B-6806X24	BOBRICK	4	SPECIFICATIONS SECTION 102800
GB-2	GRAB BAR	42" LONG, 1-1/2" DIAMETER, STRAIGHT GRAB BAR, B-6806X42	BOBRICK	4	SPECIFICATIONS SECTION 102800
GB-3	GRAB BAR	18" LONG, 1-1/2" DIAMETER, STRAIGHT GRAB BAR, B-6806X18	BOBRICK	4	SPECIFICATIONS SECTION 102800
LAV-1	LAVATORY	OVALYN LARGE UNDER COUNTER SINK	AMERICAN STANDARD	10	SPECIFICATIONS SECTION 224000
TA-1	TOILET TISSUE DISPENSER	MODEL B-2888, CLASSIC SERIES, SURFACE MOUNTED MULTIFLOR	BOBRICK	12	SPECIFICATIONS SECTION 102800
TA-2	SANITARY NAPKIN DISPOSAL	MODEL B-254, CLASSIC SERIES, SURFACE MOUNTED, SATIN-FINISH STAINLESS STEEL	BOBRICK	9	SPECIFICATIONS SECTION 102800
TA-3	TOILET SEAT COVER DISPENSER	MODEL B-221, CLASSIC SERIES, SURFACE MOUNTED SEAT COVER DISPENSER, SATIN-FINISH STAINLESS STEEL, 15 3/4" W X 11" X 2" D	BOBRICK	7	SPECIFICATIONS SECTION 102800
TA-4	BABY CHANGING STATION	MODEL 962, RECESSED, STAINLESS STEEL	BRADLEY	2	SPECIFICATIONS SECTION 102800
TA-5	SOAP DISPENSER	MODEL SP95767, SPARTAN SOAP DISPENSER IN BLACK	SPARTAN	8	SPECIFICATIONS SECTION 102800
TA-6	COMBINATION UNIT	MODEL B-340, CLASSIC SERIES, RECESSED CONVERTIBLE PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	BOBRICK	6	SPECIFICATIONS SECTION 102800
TA-7	COAT HOOK	MODEL B-9542, FINO COLLECTION, SURFACE MOUNTED COAT HOOK, SATIN FINISH STAINLESS STEEL	BOBRICK	12	SPECIFICATIONS SECTION 102800
TA-8	MIRROR	WELDED-FRAME MIRROR, MATTI BLACK, 24" X 36", B-290	BOBRICK	10	SPECIFICATIONS SECTION 102800
TA-9	MIRROR	WELDED-FRAME MIRROR, MATTI BLACK, 24" X 72", B-290	BOBRICK	4	SPECIFICATIONS SECTION 102800
TA-10	FAUCET	MODEL K-800T20-SAKA, WIDESPREAD BATHROOM SINK FAUCET	KOHLER	10	SPECIFICATIONS SECTION 224000
WC-1	TOILET	MODEL K-96057, HIGHCLIFF ULTRA TOP SPUD FLUSHOMETER BOWL	KOHLER	12	SPECIFICATIONS SECTION 224000
WC-2	TOILET FLUSHOMETER	MODEL G2 8111, G2 SENSOR FLUSHOMETER	SLOAN	12	SPECIFICATIONS SECTION 224000
U-1	URINAL	MODEL Z5758-U, "THE RETROFIT PINT" 1/2 GPF ECOVANTAGE, ULTRA LOW CONSUMPTION URINAL	ZURN	6	SPECIFICATIONS SECTION 224000
U-2	URINAL FLUSHOMETER	MODEL G2 8180, G2 EXPOSED SENSOR URINAL FLUSHOMETER	SLOAN	6	SPECIFICATIONS SECTION 224000

*FIXTURES CALLED OUT IN SCHEDULE ARE BASIS-OF-DESIGN ONLY. SEE SPECIFICATIONS FOR FURTHER DETAILS.

- RENOVATION NOTES:**
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR NEW SOLID SURFACE COUNTERTOP INSTALLATION.
 - ADA 606.5 EXPOSED PIPES AND SURFACES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

*FIXTURES CALLED OUT IN DRAWING ARE BASIS-OF-DESIGN ONLY. SEE SPECIFICATIONS FOR FURTHER DETAILS.

- GENERAL NOTES:**
- G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE. NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
 - REFER TO DRAWINGS FOR ALL NEW PARTITIONS TYPES UNLESS OTHERWISE NOTED IN ARCHITECTURAL PLANS AND/OR ENLARGED PLANS.
 - REFER TO INTERIOR, MECHANICAL, ELECTRICAL, AND PLUMBING SHEETS FOR DETAILS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - PARTITIONS ARE DIMENSIONED TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL GYPSUM BOARD AT WET WALL LOCATIONS TO BE MOISTURE RESISTANT. REFER TO SPECIFICATIONS
 - EDGE OF DOORS SHALL BE LOCATED 5" OFF PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
 - ALL CONCEALED AND SURFACE-MOUNTED WOOD BLOCKING TO SECURE CABINETS, MARKER BOARDS, MONITOR MOUNTS, ECT. TO PARTITIONS TO BE FIRE RETARDANT WOOD BLOCKING.
 - DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
 - ACCESSIBILITY IS DESIGNED AND SHALL BE IN ACCORDANCE WITH IBC AND ICC/ANS 117.1, WHICHEVER STANDARD PROVIDES THE GREATEST DEGREE OF ACCESSIBILITY FOR ANY GIVEN BUILDING ELEMENT.
 - EACH GLAZING UNIT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF GLASS. GLAZING LOCATED WITHIN 24" OF A DOOR AND LESS THAN 60" ABOVE WALKING SURFACE SHALL BE SAFETY GLAZED.
 - REFER TO AWI STANDARDS FOR MILLWORK CONSTRUCTION. REFER TO INTERIOR DRAWINGS AND SPECIFICATIONS
 - ALL MATERIALS AND COMPONENTS OF FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.
 - ALL FIRESTOP SYSTEMS TO MEET U.L. TESTED SYSTEMS. SYSTEMS MUST BE SUBMITTED TO AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION. G.C. IS TO KEEP A COPY OF ALL APPROVED SYSTEMS ON SITE FOR DURATION OF PROJECT. ALL INSTALLED SYSTEMS MUST BE LABELED AND DOCUMENTED. DOCUMENTATION IS TO BE SUBMITTED TO OWNER AND ARCHITECT UPON COMPLETION OF PROJECT.
 - FIRE SPRINKLER APPROVALS ARE NOT INCLUDED UNDER THESE DESIGN DOCUMENTS. BEFORE COMMENCING ANY WORK ON THE SPRINKLER SYSTEM, PLANS MUST BE SUBMITTED BY ENGINEER AND APPROVED BY THE OWNER. THE SYSTEM MUST BE INSPECTED AND APPROVED BY BUILDING SAFETY INSPECTION PRIOR TO OCCUPANCY.
 - INSTALL SOUND BATT INSULATION WITHIN NEW WALLS.
 - DOOR AND BUILDING SECURITY SYSTEM HARDWARE AND WIRING TO BE PROVIDED BY OWNER. COORDINATE WITH OWNER'S FORCES PRIOR TO CONSTRUCTION.
 - REFER TO SUMMARY OF WORK SPECIFICATION SECTION 011000 FOR PHASING SCHEDULE AND COMPLETION DATES

- RENOVATION KEYNOTES:**
- INSTALL NEW GRAB BARS (GB-1, GB-2, & GB-3) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW CEILING HUNG PARTITIONS (SS-2) AS SPECIFIED (SECTION 102113.19), TO LOCATION SHOWN. REFER TO A-201 AND A-202 FOR ELEVATIONS.
 - INSTALL NEW SOAP DISPENSER (TA-5) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN. REFER TO A-201 AND A-202 FOR ELEVATIONS.
 - INSTALL NEW COMBINATION UNIT (TA-6) (PAPER TOWEL DISPENSER AND WASTE RECEPTACLE) AS SPECIFIED (SECTION 102800) TO LOCATION SHOWN.
 - INSTALL NEW TOILET TISSUE DISPENSER (TA-1) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW SANITARY NAPKIN DISPOSAL (TA-2) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW TOILET SEAT COVER DISPENSER (TA-3) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW COUNTERTOP (SS-1) AS SPECIFIED (SECTION 123661.16), TO LOCATION SHOWN. SEE DETAILS ON SHEET A-500.
 - INSTALL NEW UNDERMOUNT SINKS (LAV-1) AND FAUCETS (TA-11) AS SPECIFIED (SECTION 224000) TO LOCATIONS SHOWN. WRAP PIPES FOR ADA - SEE SHEET A-500 FOR ELEVATIONS. REFER TO SHEET P-101 FOR PLUMBING DETAILS.
 - INSTALL NEW MIRRORS (TA-8) ABOVE SINKS AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL TOILET (WC-1) AND FLUSHOMETER (WC-2) AS SPECIFIED (SECTION 224000), TO LOCATION SHOWN. REFER TO SHEET P-101 FOR PLUMBING DETAILS.
 - INSTALL URINALS (U-1) AND FLUSHOMETER (U-2) AS SPECIFIED (SECTION 224000), TO LOCATION SHOWN. REFER TO SHEET P-101 FOR PLUMBING DETAILS.
 - INSTALL NEW FLOOR TILE (CT-1) WITH 3/8" GROUT SPACING THROUGHOUT ENTIRE BATHROOM, AS SPECIFIED (SECTION 093000). REFER TO SPECIFICATIONS FOR WATERPROOF MEMBRANE AND GROUT INFORMATION.
 - INSTALL NEW FULL LENGTH MIRROR (TA-9) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN. BOTTOM OF MIRROR SHALL BE 4" AFF. REFER TO SHEET A-201 AND A-202 FOR ELEVATIONS.
 - BLOCK AND FRAME NEW WALL PER MANUFACTURER'S INSTRUCTIONS TO ACCOMMODATE WALL MOUNTED BABY CHANGING STATION. WOOD DOUBLE STUD BLOCKING. ROUGH-IN: 35 3/8" WIDTH BY 19 3/8" HEIGHT.
 - INSTALL NEW BABY CHANGING STATION(TA-4) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN. REFER TO SHEET A-201 AND A-202 FOR ELEVATIONS.
 - INSTALL NEW HOOKS (TA-7) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW POWER ASSIST OPENERS (SECTION 087113), TO LOCATION SHOWN.
 - COORDINATE WITH PLUMBER TO REMOVE VINYL COVER SHEET ROCK FROM WALLS BEHIND PLUMBING FIXTURES. REUSE UNDAMAGED PANELS. REPLACE PANELS NEEDING NEW CUTOUTS TO ACCOMMODATE NEW PLUMBING FIXTURES

OFFICE OF
ADMINISTRATION
DIVISION OF FACILITIES
MANAGEMENT / DESIGN
AND CONSTRUCTION

DEPARTMENT OF
SOCIAL SERVICES

MULTI. DIVISION

HOWERTON STATE
OFFICE BUILDING

RENOVATE LOBBY
AND RESTROOMS
1ST AND 2ND FLOOR
615 HOWERTON COURT
JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
DATE: 04/14/2025
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

CAD DWG FILE: A-104_02409_01
DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
**FIRST FLOOR
RESTROOM
RENOVATION PLAN**

SHEET NUMBER:

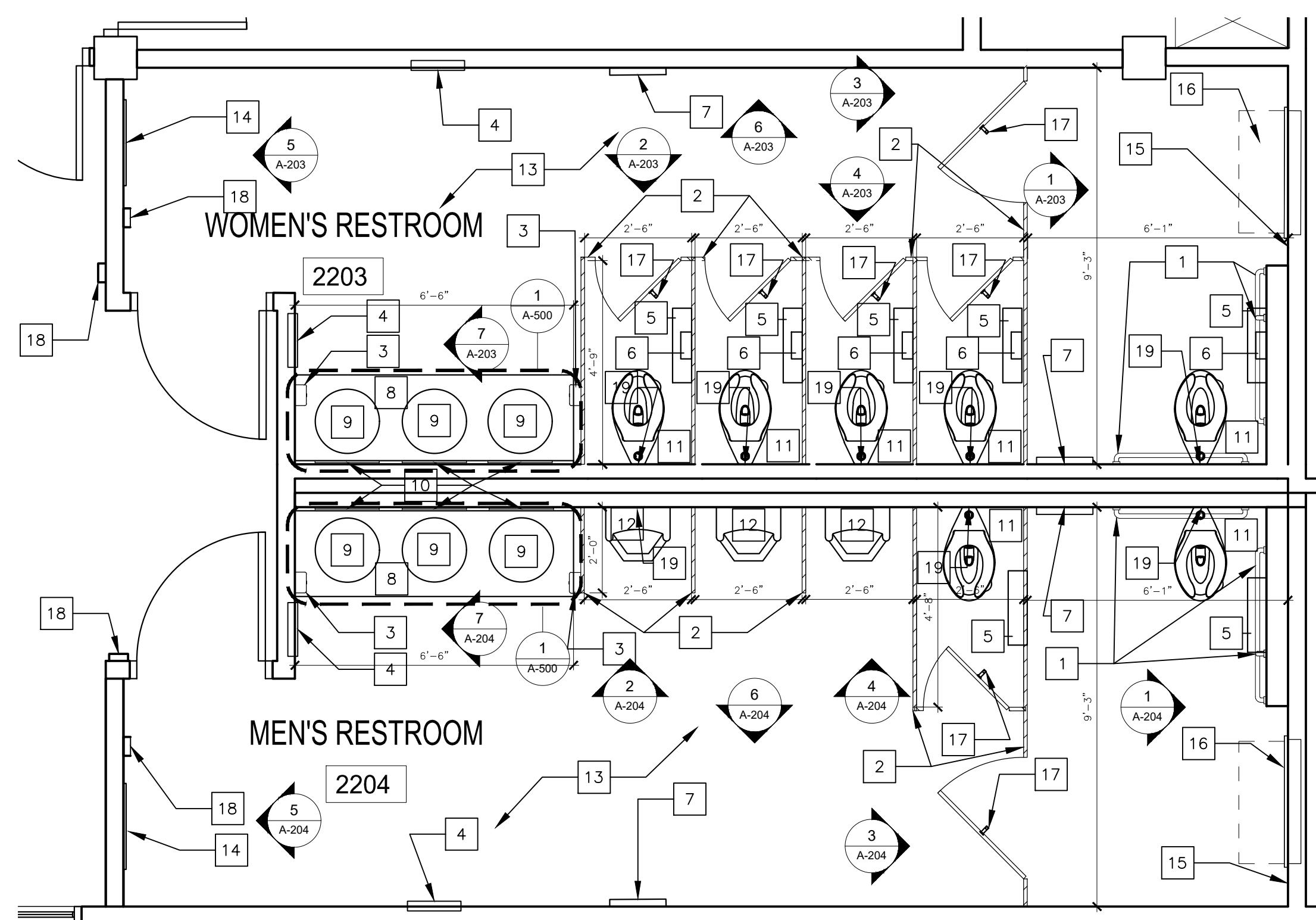
A-104

6 OF 38 SHEETS

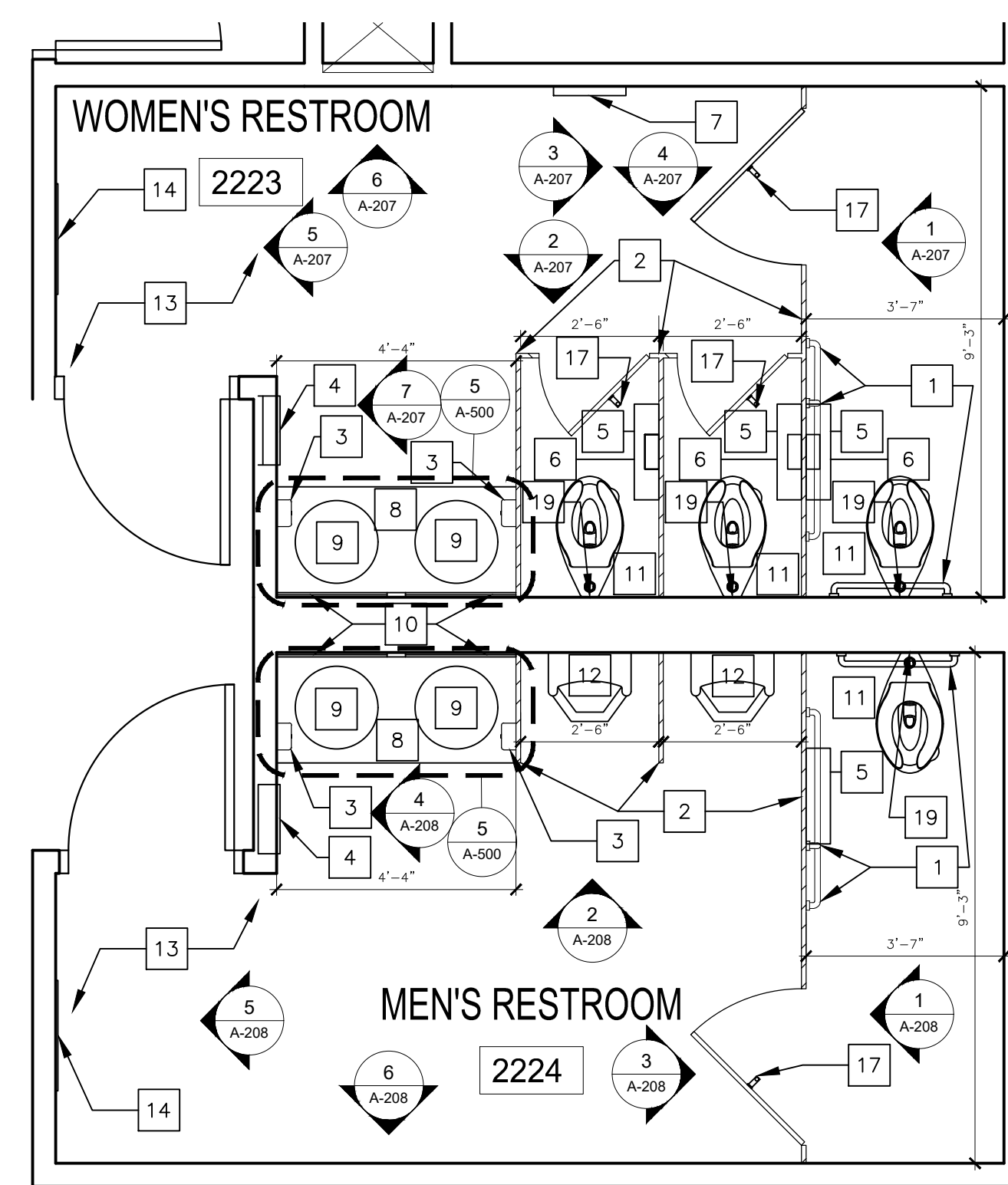


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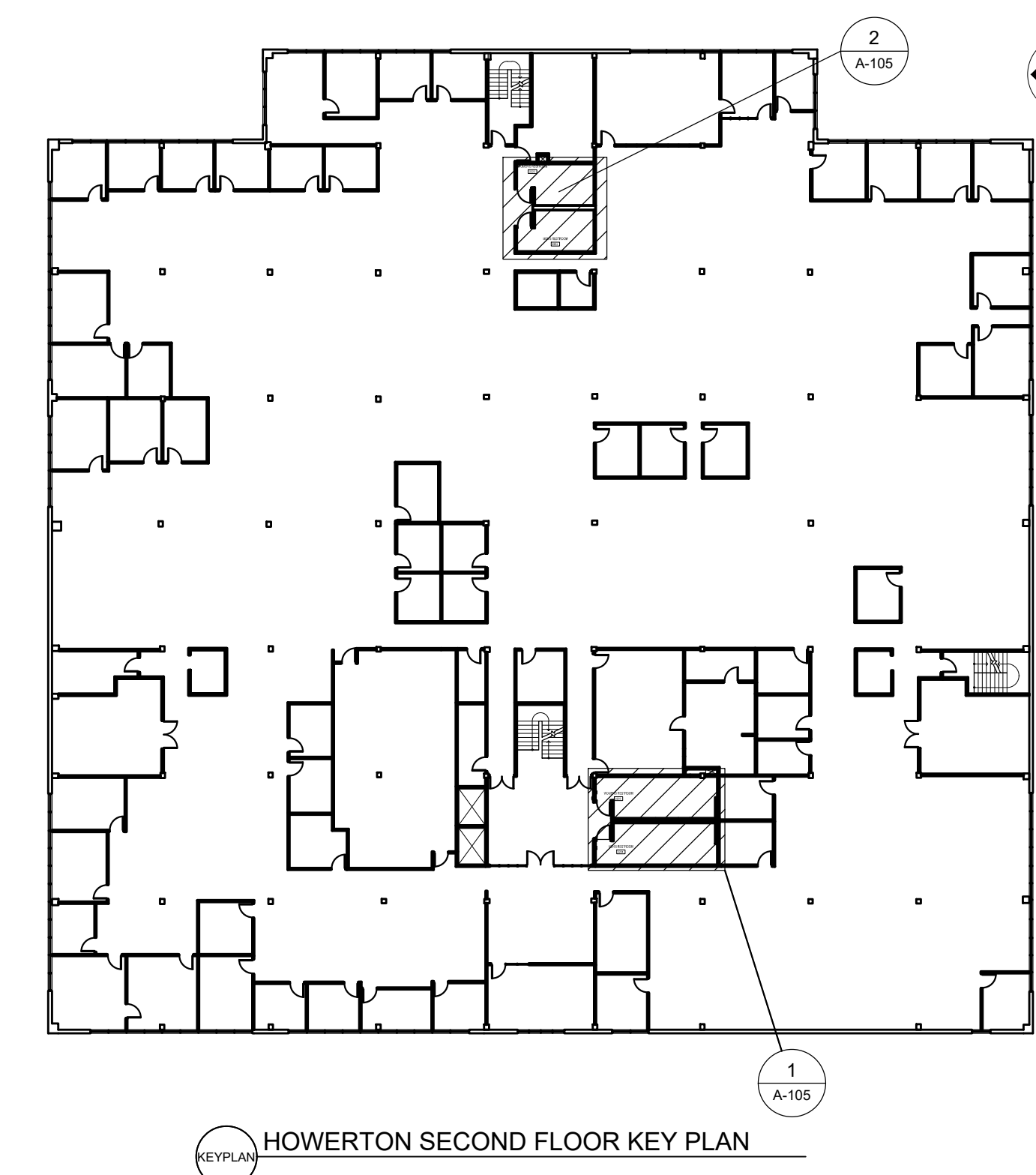
BID DOCUMENTS



1 SECOND FLOOR - LOBBY RESTROOM RENOVATION PLAN
SCALE: 3/8" = 1'-0"



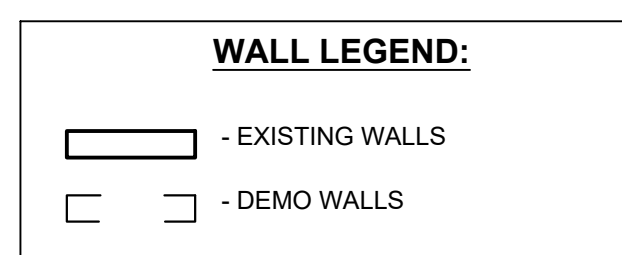
2 SECOND FLOOR - STAFF RESTROOM RENOVATION PLAN
SCALE: 3/8" = 1'-0"



KEYPLAN HOWERTON SECOND FLOOR KEY PLAN

ROOM FINISH SCHEDULE											
NUMBER	ROOM	PERIMETER	AREA	FINISH							NOTES
				PAINT	FLOORING	CEILING	COUNTERTOP	TOILET PARTITIONS	WALL BASE	CEILING HEIGHT	
2203	WOMEN'S RESTROOM	72'-10"	235 Sq.Ft.	P-1	CT-1	ACT-1	SS-1	SS-2	B-1	8'-11"	--
2204	MEN'S RESTROOM	72'-10"	235 Sq.Ft.	P-1	CT-1	ACT-1	SS-1	SS-2	B-1	8'-11"	--
2223	WOMEN'S RESTROOM	54'-7"	156 Sq.Ft.	P-1	CT-1	ACT-1	SS-1	SS-2	B-1	8'-11"	--
2224	MEN'S RESTROOM	55'-7"	164 Sq.Ft.	P-1	CT-1	ACT-1	SS-1	SS-2	B-1	8'-11"	--

P-1 PPG PAINT, COLOR MATCH: SHERWIN WILLIAMS SW7003 WORLDLY GRAY
CT-1 DALTILE, ARTICULO, FEATURE BEIGE, 12" X 24"
ACT-1 ARMSTRONG, CALLA 1" THICK SQUARE LAY-IN, TEGULAR, WHITE ACOUSTICAL CEILING TILE, 24" X 24"
SS-1 CORIAN, DOMINO TERRAZZO
SS-2 PRIVACY PLUS PARTITIONS, CEILING HUNG, CORIAN, GRAY ONYX
B-1 JOHNSONITE, TRADITIONAL VINYL 1/2" WALL BASE, FUDGE 167



*FIXTURES CALLED OUT IN DRAWING ARE BASIS-OF-DESIGN ONLY. SEE SPECIFICATIONS FOR FURTHER DETAILS.

RESTROOM FIXTURE SCHEDULE					
MARK	PRODUCT	DESCRIPTION	MANUFACTURER	QTY	REMARKS
GB-1	GRAB BAR	36" LONG, 1-1/2" DIAMETER, STRAIGHT GRAB BAR, B-6806X24	BOBRICK	4	SPECIFICATIONS SECTION 102800
GB-2	GRAB BAR	42" LONG, 1-1/2" DIAMETER, STRAIGHT GRAB BAR, B-6806X42	BOBRICK	4	SPECIFICATIONS SECTION 102800
GB-3	GRAB BAR	18" LONG, 1-1/2" DIAMETER, STRAIGHT GRAB BAR, B-6806X18	BOBRICK	4	SPECIFICATIONS SECTION 102800
LAV-1	LAVATORY	OVALYN LARGE UNDER COUNTER SINK	AMERICAN STANDARD	10	SPECIFICATIONS SECTION 224000
TA-1	TOILET TISSUE DISPENSER	MODEL B-2888, CLASSIC SERIES, SURFACE MOUNTED MULTI-ROLL	BOBRICK	11	SPECIFICATIONS SECTION 102800
TA-2	SANITARY NAPKIN DISPOSAL	MODEL B-254, CLASSIC SERIES, SURFACE MOUNTED, SATIN-FINISH STAINLESS STEEL	BOBRICK	8	SPECIFICATIONS SECTION 102800
TA-3	TOILET SEAT COVER DISPENSER	MODEL B-3542, FINO COLLECTION, SURFACE MOUNTED SEAT COVER DISPENSER, SATIN-FINISH STAINLESS STEEL, 15 3/4" W X 11" X 2" D	BOBRICK	7	SPECIFICATIONS SECTION 102800
TA-4	BABY CHANGING STATION	MODEL 962, RECESSED, STAINLESS STEEL	BRADLEY	2	SPECIFICATIONS SECTION 102800
TA-5	SOAP DISPENSER	MODEL SPA9757, SPARTAN SOAP DISPENSER IN BLACK	SPARTAN	8	SPECIFICATIONS SECTION 102800
TA-6	COMBINATION UNIT	MODEL B-3940, CLASSIC SERIES, RECESSED CONVERTIBLE PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	BOBRICK	6	SPECIFICATIONS SECTION 102800
TA-7	COAT HOOK	MODEL B-3542, FINO COLLECTION, SURFACE MOUNTED COAT HOOK, SATIN FINISH STAINLESS STEEL	BOBRICK	11	SPECIFICATIONS SECTION 102800
TA-8	MIRROR	WELDED-FRAME MIRROR, MATTE BLACK, 24" X 36", B-290	BOBRICK	10	SPECIFICATIONS SECTION 102800
TA-9	MIRROR	WELDED-FRAME MIRROR, MATTE BLACK, 24" X 72", B-290	BOBRICK	4	SPECIFICATIONS SECTION 102800
TA-10	FAUCET	MODEL K-800T20-5AKA, WIDESPREAD BATHROOM SINK FAUCET	KOHLER	10	SPECIFICATIONS SECTION 224000
WC-1	TOILET	MODEL K-96057, HIGHCLIFF ULTRA TOP SPUD FLUSHOMETER BOWL	KOHLER	11	SPECIFICATIONS SECTION 224000
WC-2	TOILET FLUSHOMETER	MODEL G2 8111, G2 SENSOR FLUSHOMETER	SLOAN	11	SPECIFICATIONS SECTION 224000
U-1	URINAL	MODEL Z578UJ, "THE RETROFIT PINT" 1/2 GPF ECOVANTAGE, ULTRA LOW CONSUMPTION URINAL	ZURN	5	SPECIFICATIONS SECTION 224000
U-2	URINAL FLUSHOMETER	MODEL G2 8180, G2 EXPOSED SENSOR URINAL FLUSHOMETER	SLOAN	5	SPECIFICATIONS SECTION 224000

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- GENERAL NOTES:**
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 - PARTITIONS ARE DIMENSIONED TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL GYPSUM BOARD AT WET WALL LOCATIONS TO BE MOISTURE RESISTANT. REFER TO SPECIFICATIONS
 - EDGE OF DOORS SHALL BE LOCATED 5" OFF PERPENDICULAR WALL UNLESS OTHERWISE NOTED.
 - ALL CONCEALED AND SURFACE-MOUNTED WOOD BLOCKING TO SECURE CABINETS, MARKER BOARDS, MONITOR MOUNTS, ECT. TO PARTITIONS TO BE FIRE RETARDANT WOOD BLOCKING.
 - DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
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 - ALL MATERIALS AND COMPONENTS OF FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.
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 - INSTALL SOUND BATT INSULATION WITHIN NEW WALLS.
 - DOOR AND BUILDING SECURITY SYSTEM HARDWARE AND WIRING TO BE PROVIDED BY OWNER. COORDINATE WITH OWNER'S FORCES PRIOR TO CONSTRUCTION.
 - REFER TO SUMMARY OF WORK SPECIFICATION SECTION 011000 FOR PHASING SCHEDULE AND COMPLETION DATES

- RENOVATION NOTES:**
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR NEW SOLID SURFACE COUNTERTOP INSTALLATION.
 - ADA 606.5 EXPOSED PIPES AND SURFACES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

- RENOVATION KEYNOTES:**
- INSTALL NEW GRAB BARS (GB-1, GB-2, & GB-3) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW CEILING HUNG PARTITIONS (SS-2) AS SPECIFIED (SECTION 102113.19), TO LOCATION SHOWN. REFER TO A-201 AND A-202 FOR ELEVATIONS.
 - INSTALL NEW SOAP DISPENSER (TA-5) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN. REFER TO A-201 AND A-202 FOR ELEVATIONS.
 - INSTALL NEW COMBINATION UNIT (TA-6) (PAPER TOWEL DISPENSER AND WASTE RECEPTACLE) AS SPECIFIED (SECTION 102800) TO LOCATION SHOWN.
 - INSTALL NEW TOILET TISSUE DISPENSER (TA-1) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW SANITARY NAPKIN DISPOSAL (TA-2) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW TOILET SEAT COVER DISPENSER (TA-3) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW COUNTERTOP (SS-1) AS SPECIFIED (SECTION 123661.16), TO LOCATION SHOWN. SEE DETAILS ON SHEET A-500.
 - INSTALL NEW UNDERMOUNT SINKS (LAV-1) AND FAUCETS (TA-11) AS SPECIFIED (SECTION 224000) TO LOCATIONS SHOWN. WRAP PIPES FOR ADA - SEE SHEET A-500 FOR ELEVATIONS. REFER TO SHEET P-101 FOR PLUMBING DETAILS.
 - INSTALL NEW MIRRORS (TA-8) ABOVE SINKS AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL TOILET (WC-1) AND FLUSHOMETER (WC-2) AS SPECIFIED (SECTION 224000), TO LOCATION SHOWN. REFER TO SHEET P-101 FOR PLUMBING DETAILS.
 - INSTALL URINALS (U-1) AND FLUSHOMETER (U-2) AS SPECIFIED (SECTION 224000), TO LOCATION SHOWN. REFER TO SHEET P-101 FOR PLUMBING DETAILS.
 - INSTALL NEW FLOOR TILE (CT-1) WITH 3/8" GROUT SPACING THROUGHOUT ENTIRE BATHROOM, AS SPECIFIED (SECTION 093000). REFER TO SPECIFICATIONS FOR WATERPROOF MEMBRANE AND GROUT INFORMATION.
 - INSTALL NEW FULL LENGTH MIRROR (TA-9) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN. BOTTOM OF MIRROR SHALL BE 4" AFF. REFER TO SHEET A-201 AND A-202 FOR ELEVATIONS.
 - BLOCK AND FRAME NEW WALL PER MANUFACTURER'S INSTRUCTIONS TO ACCOMMODATE WALL MOUNTED BABY CHANGING STATION. WOOD DOUBLE STUD BLOCKING. ROUGH-IN: 35 3/8" WIDTH BY 19 3/8" HEIGHT.
 - INSTALL NEW BABY CHANGING STATION(TA-4) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN. REFER TO SHEET A-201 AND A-202 FOR ELEVATIONS.
 - INSTALL NEW HOOKS (TA-7) AS SPECIFIED (SECTION 102800), TO LOCATION SHOWN.
 - INSTALL NEW POWER ASSIST OPENERS (SECTION XXXXXX), TO LOCATION SHOWN.
 - COORDINATE WITH PLUMBER TO REMOVE VINYL COVER SHEET ROCK FROM WALLS BEHIND PLUMBING FIXTURES. REUSE UNDAMAGED PANELS. REPLACE PANELS NEEDING NEW CUTOUTS TO ACCOMMODATE NEW PLUMBING FIXTURES.

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RENOVATE LOBBY
AND RESTROOMS
1ST AND 2ND FLOOR
615 HOWERTON COURT
JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
DATE: 04/14/2025
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

CAD DWG FILE: A-105_02409_01
DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
**SECOND FLOOR
RESTROOM
RENOVATION PLAN**

SHEET NUMBER:

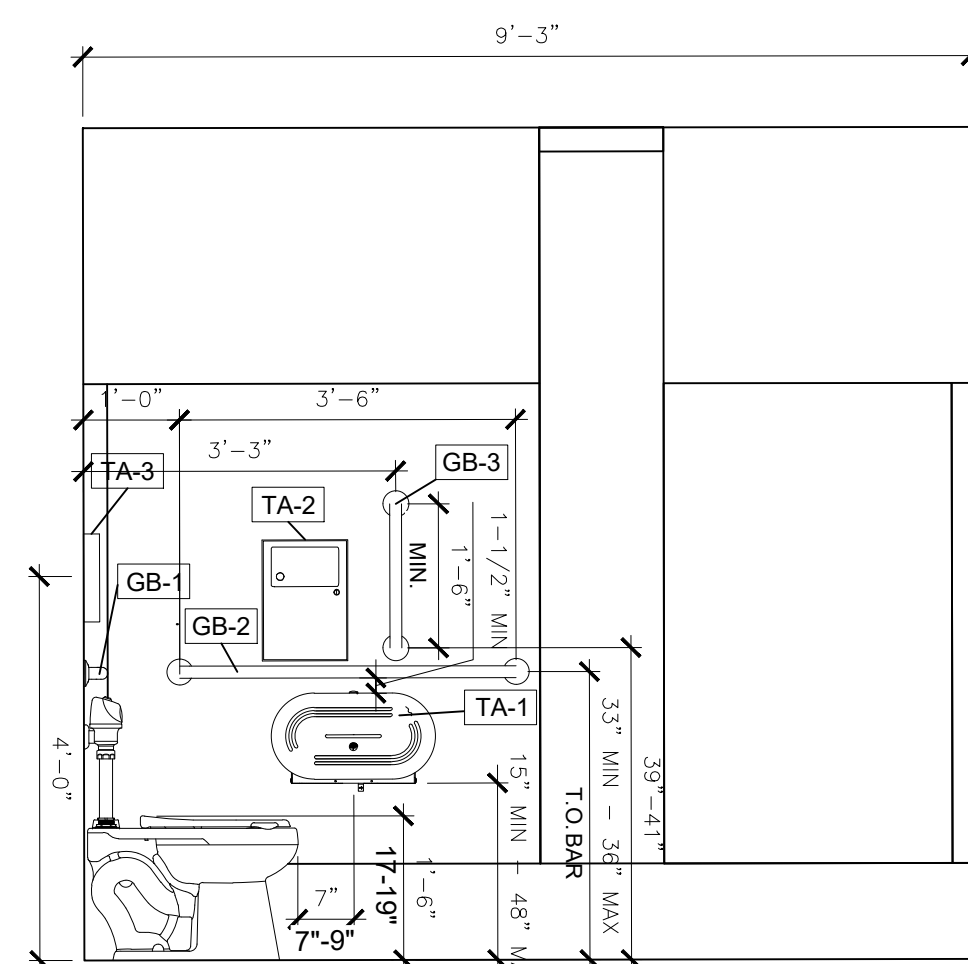
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7 OF 38 SHEETS

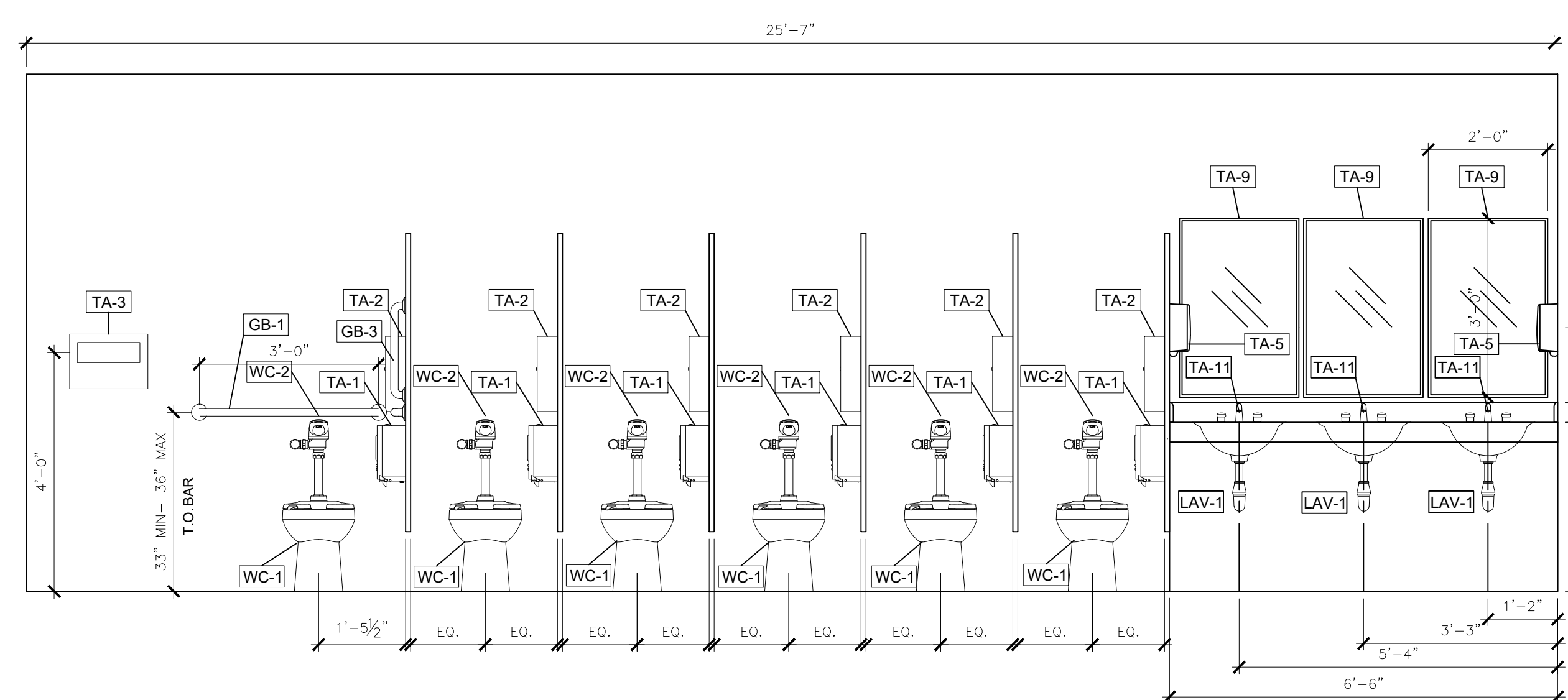


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MO# A-2009027294

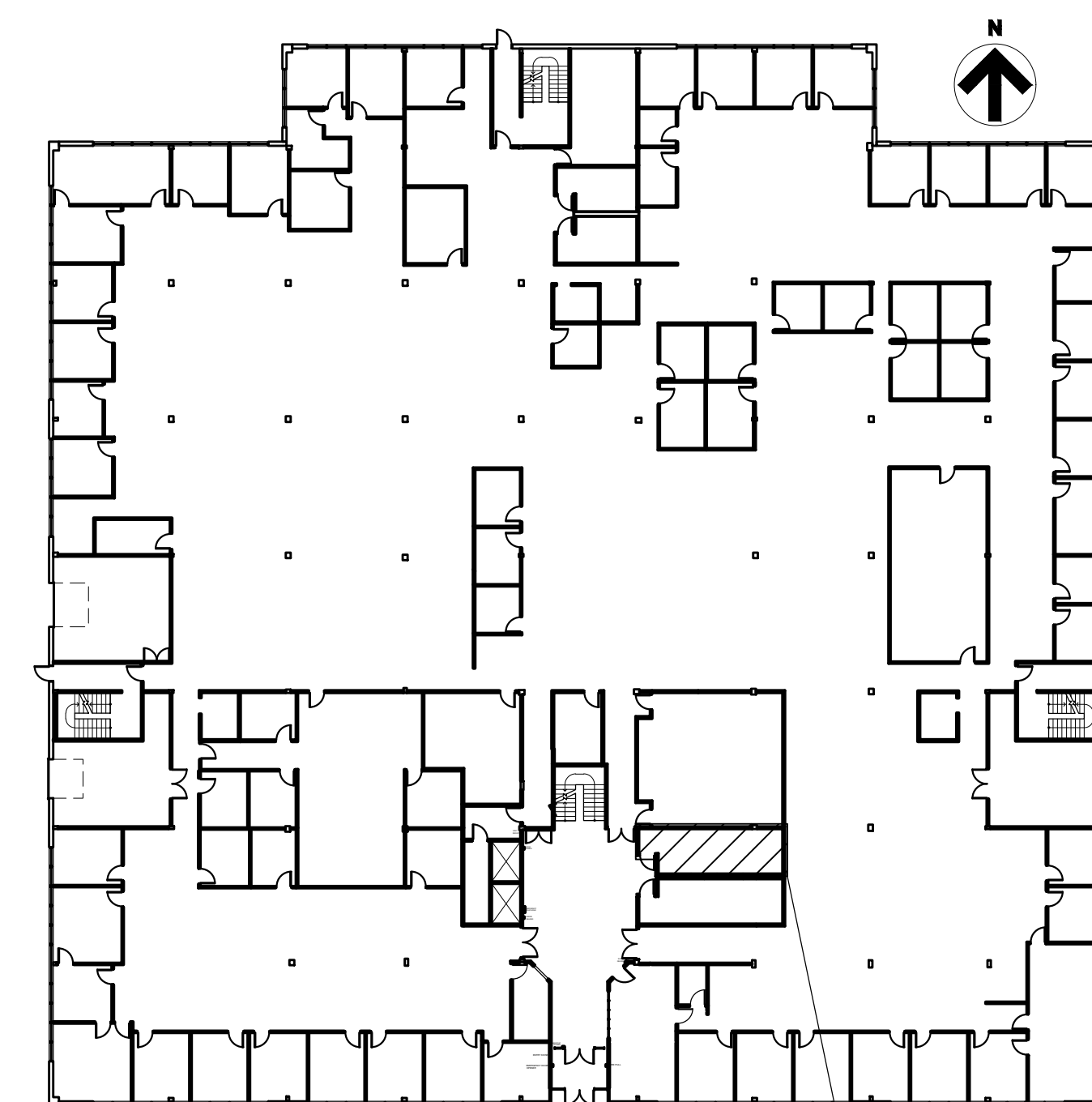
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DOCUMENTS**



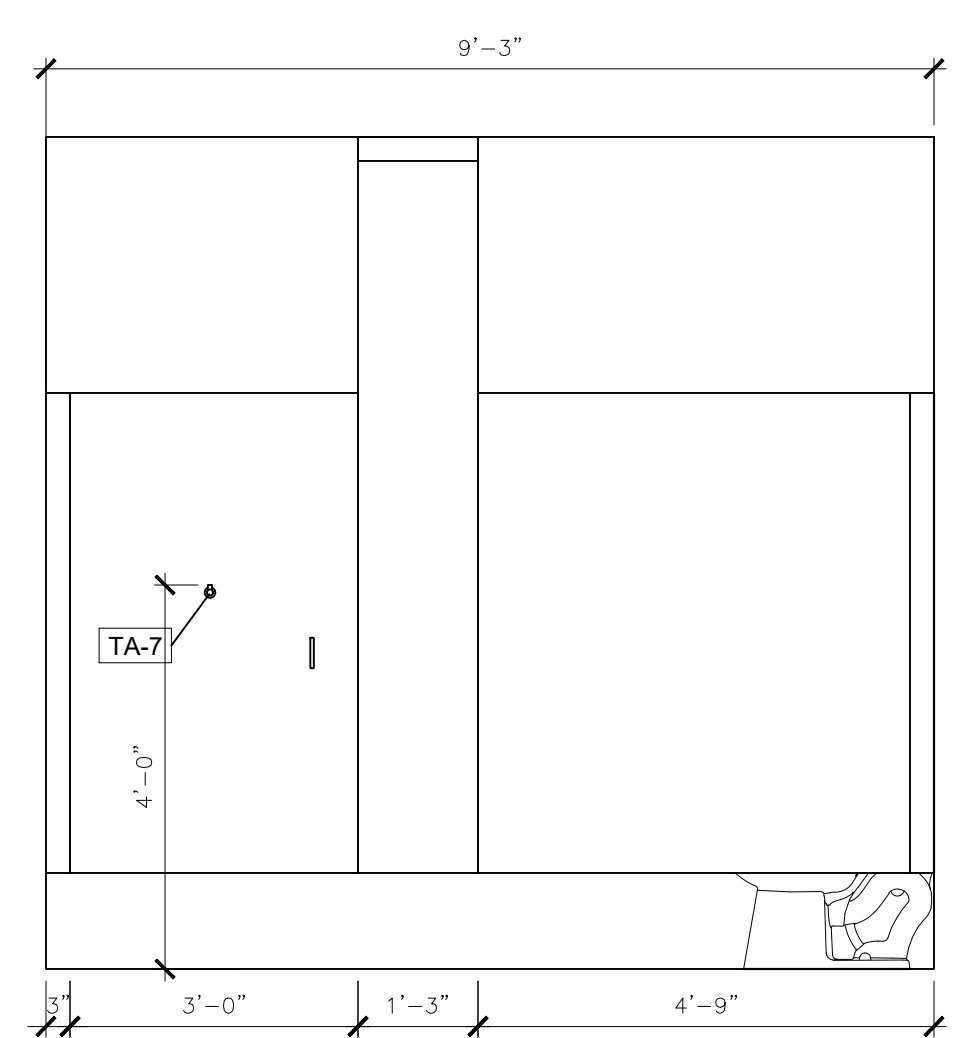
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SCALE: 1/2" = 1'-0"



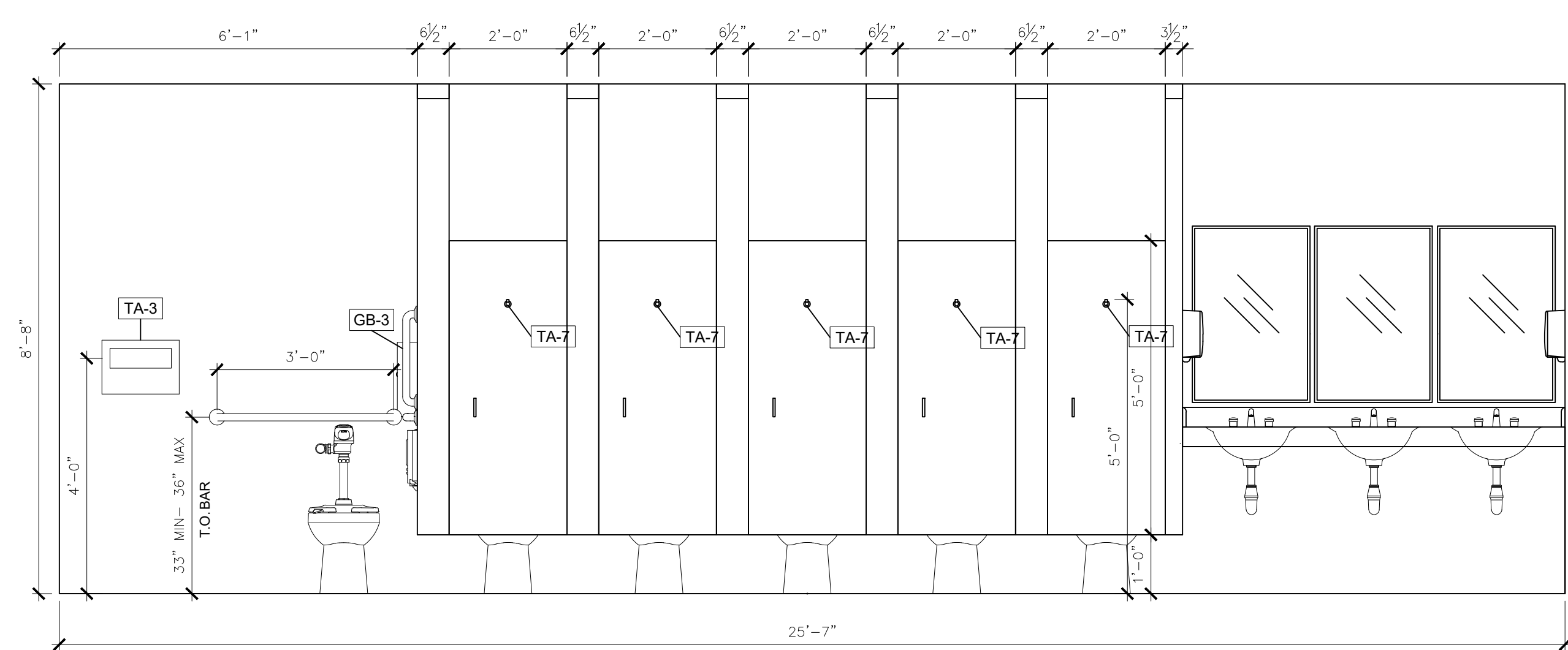
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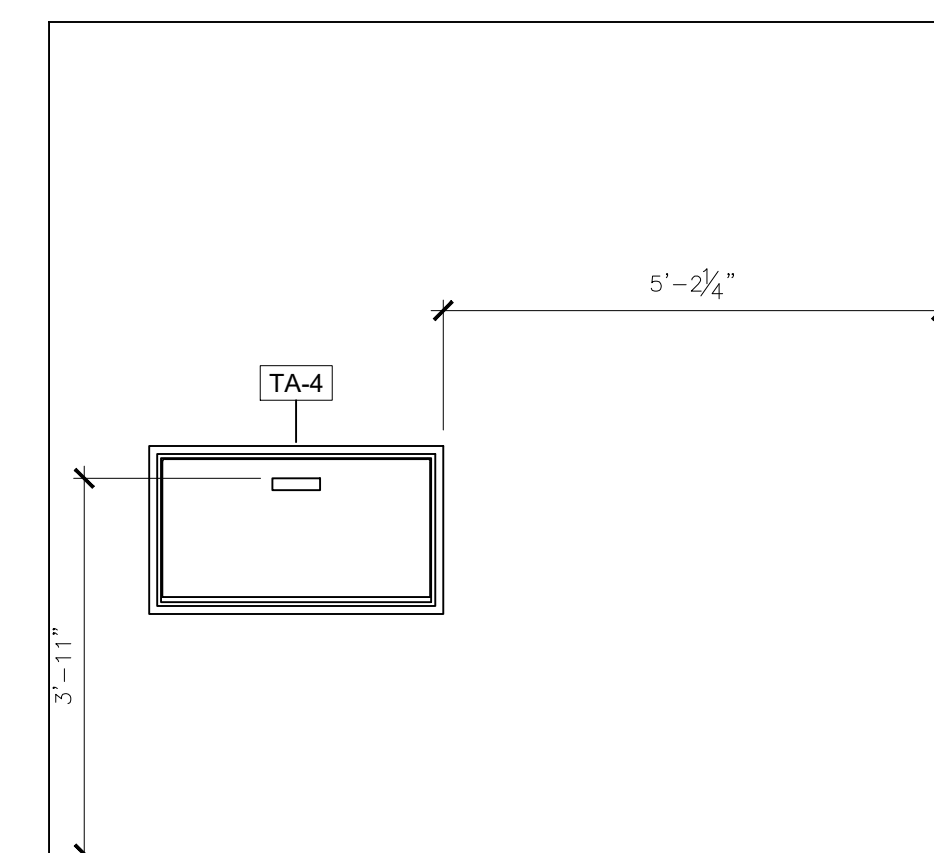
KEYPLAN HOWERTON FIRST FLOOR KEY PLAN



3 FIRST FLOOR - RESTROOM RENOVATION PLAN
SCALE: 1/2" = 1'-0"



4 FIRST FLOOR - RESTROOM RENOVATION PLAN
SCALE: 1/2" = 1'-0"

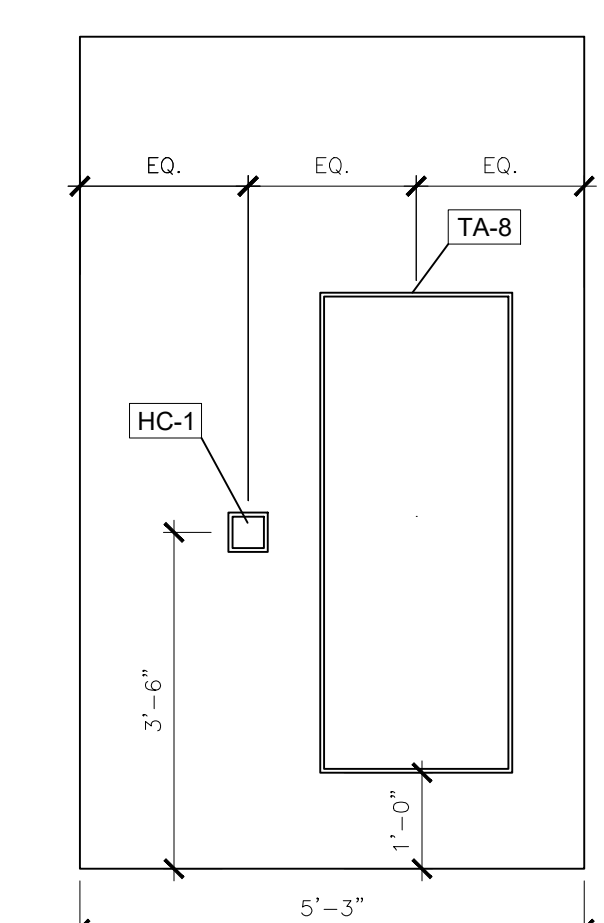


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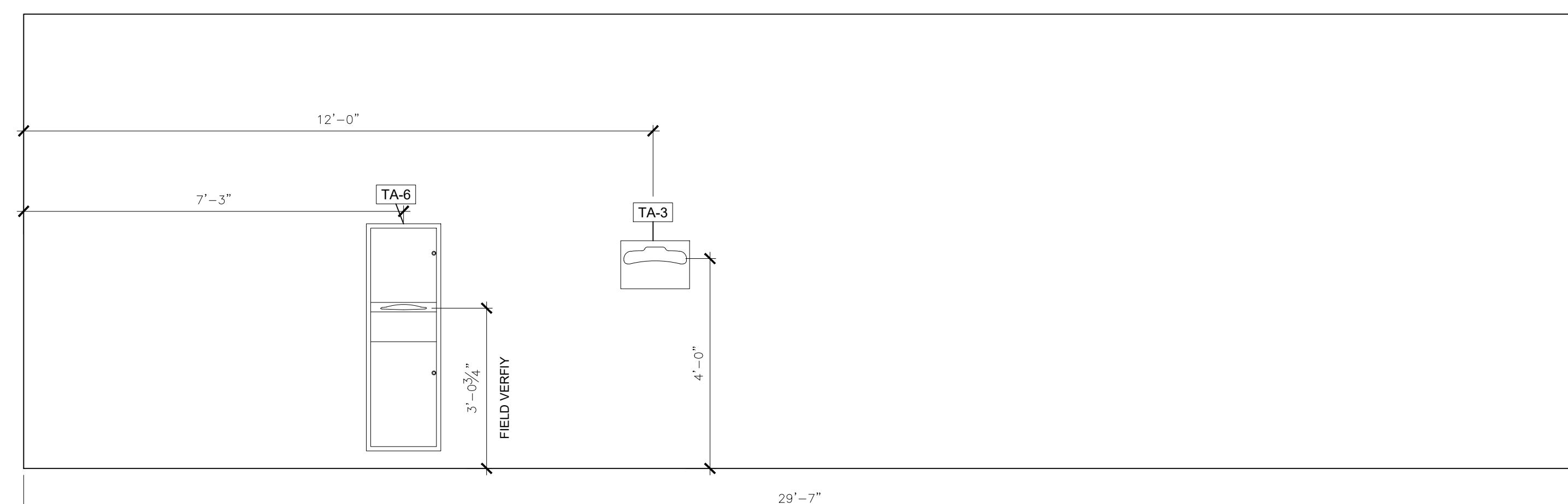
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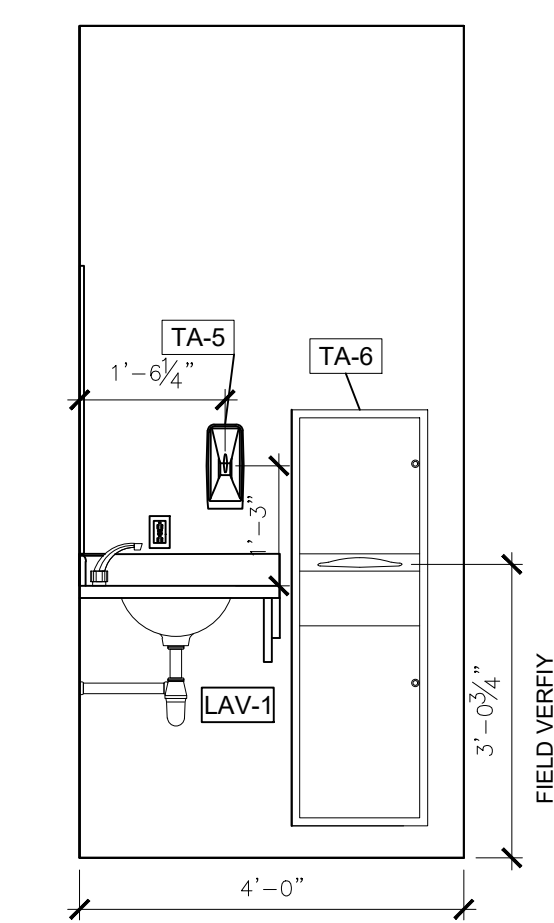
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TA-11	FAUCET
WC-1	TOILET
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UR-1	URINAL
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6 FIRST FLOOR - RESTROOM RENOVATION PLAN
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8 FIRST FLOOR - RESTROOM RENOVATION PLAN
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SITE # 1025
FACILITY # 3101025001

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ISSUE DATE: 12/13/2024

CAD DWG FILE: A-201_O2409_01
DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
FIRST FL. WOMEN'S
LOBBY RESTROOM
ELEVATIONS

SHEET NUMBER:

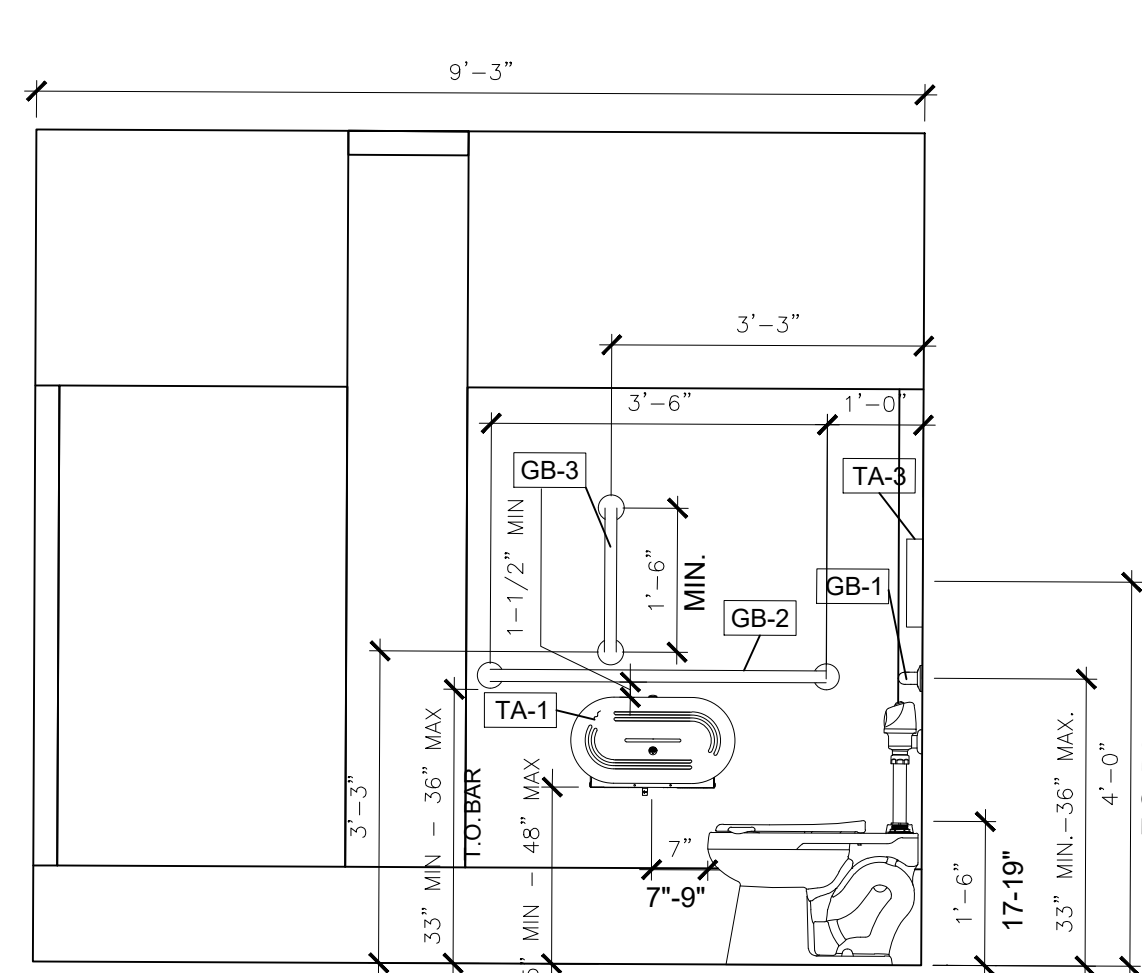
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9 OF 38 SHEETS

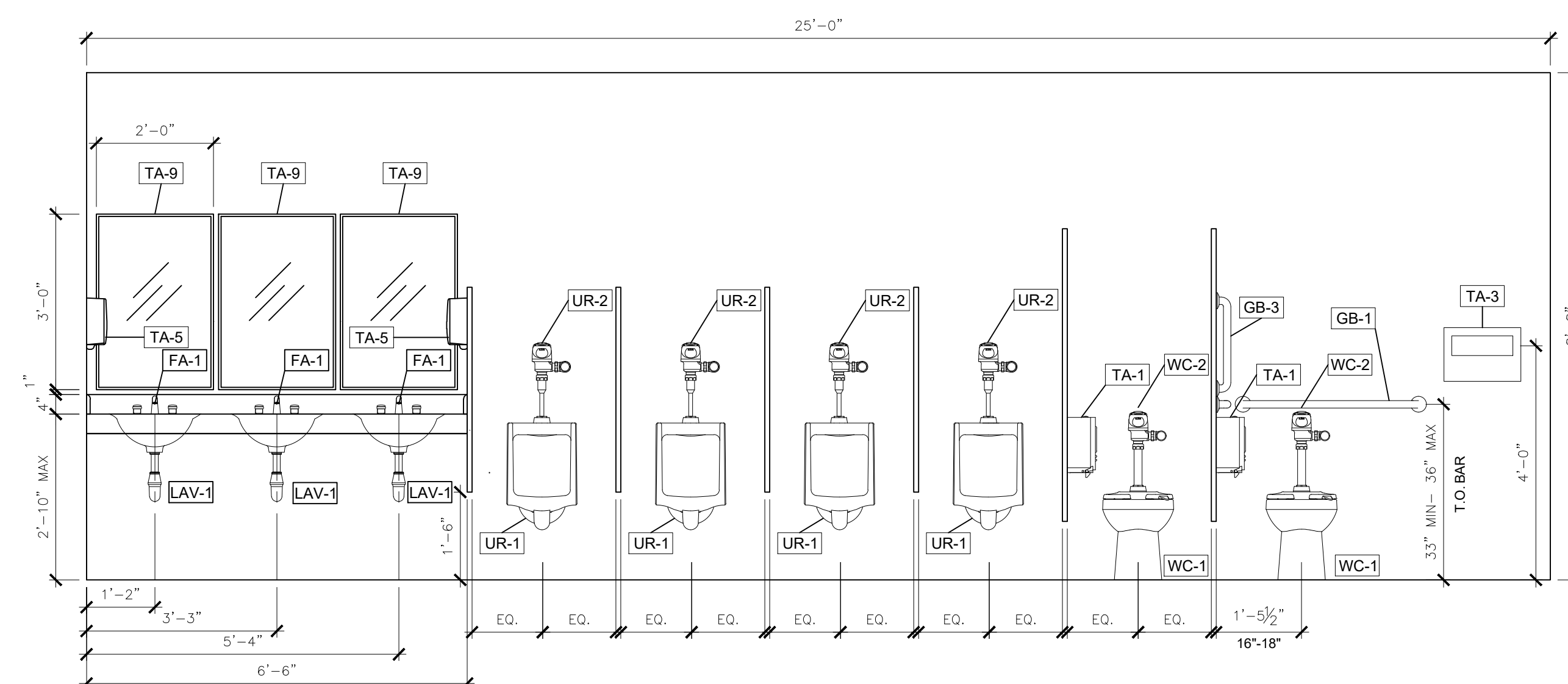


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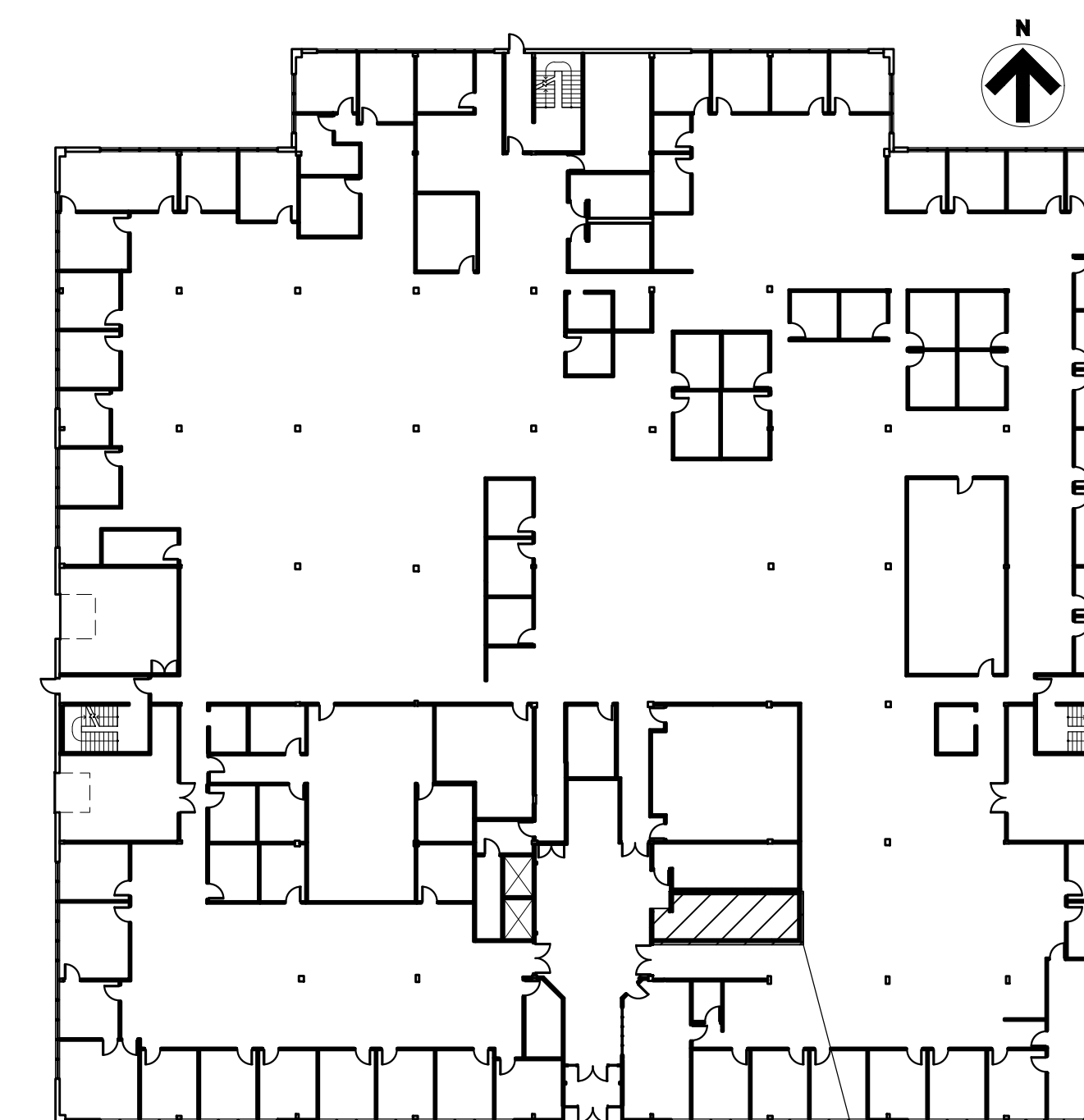
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DOCUMENTS**



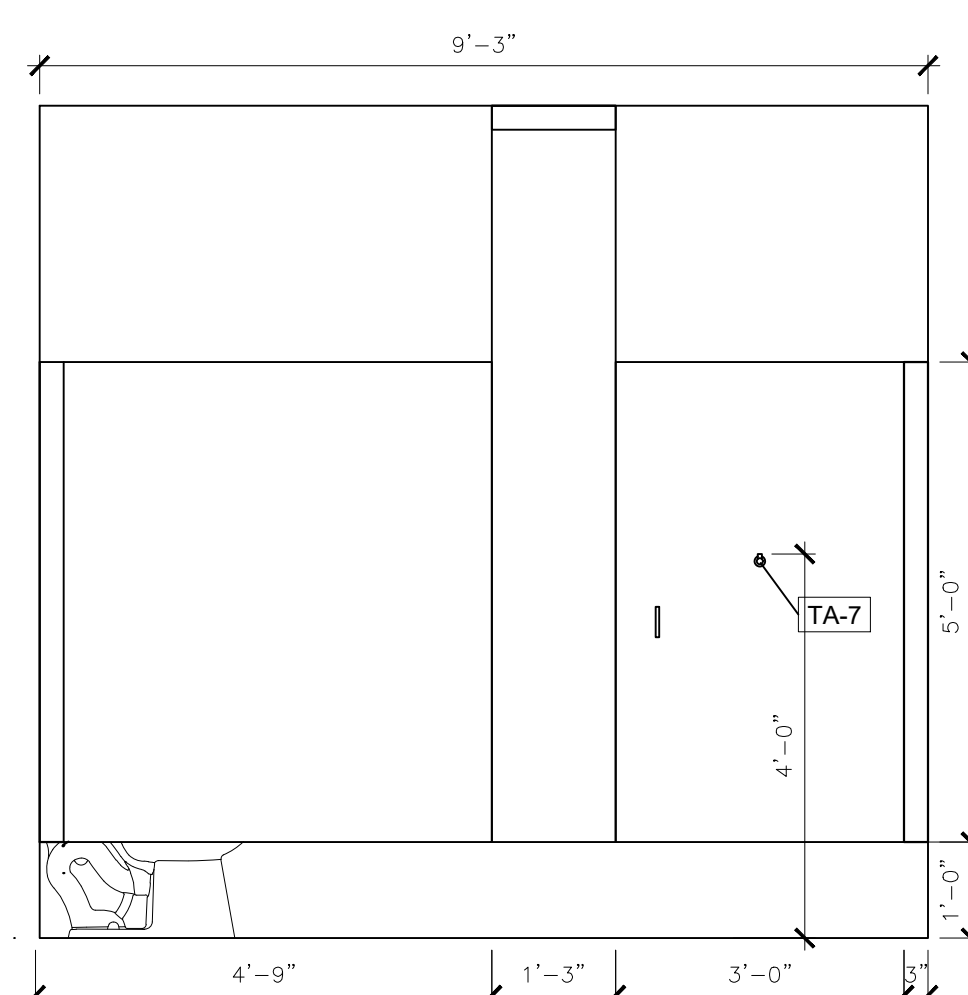
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SCALE: 1/2" = 1'-0"



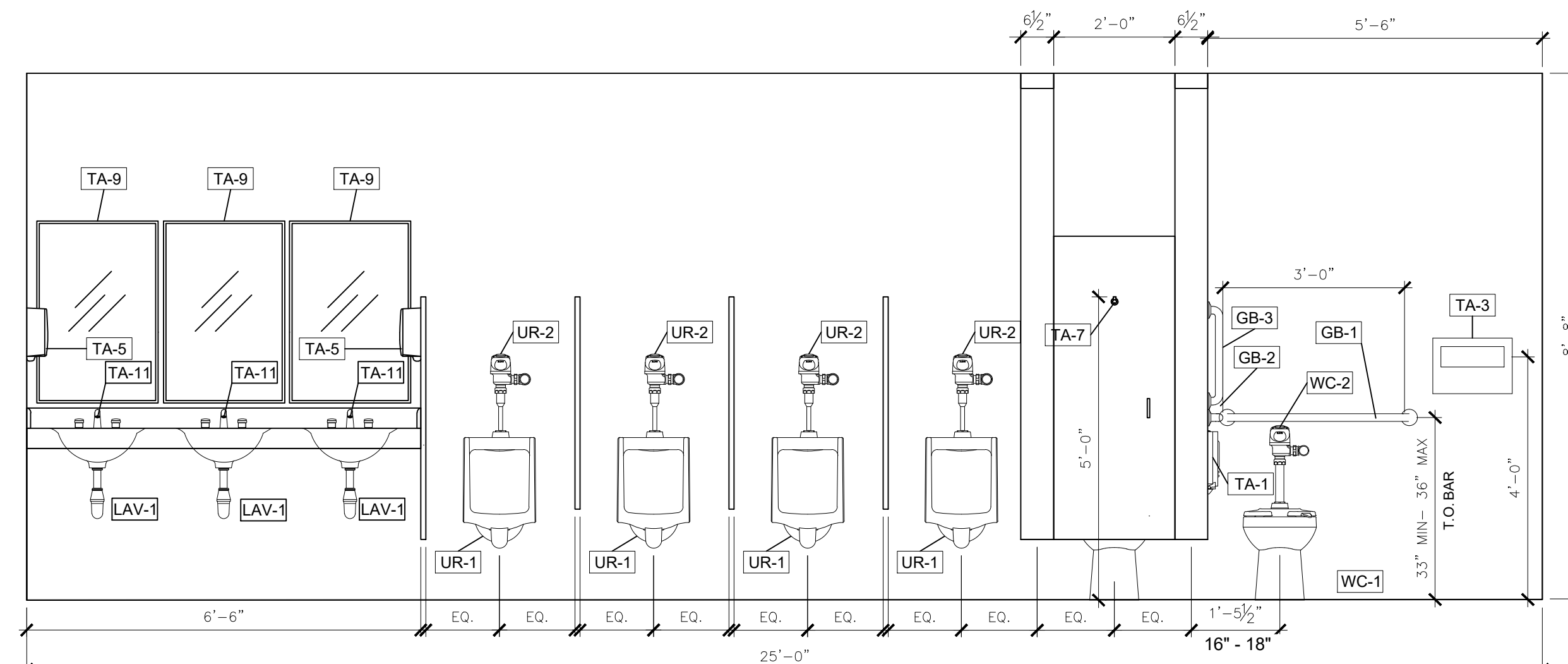
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SCALE: 1/2" = 1'-0"



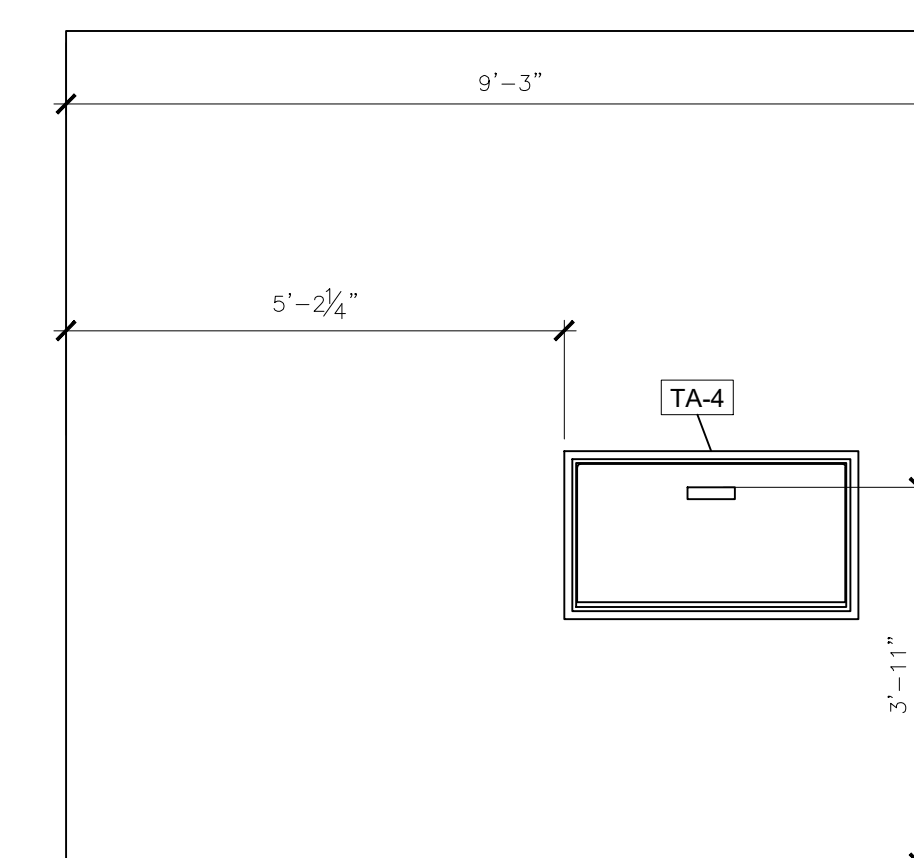
KEY PLAN HOWERTON FIRST FLOOR KEY PLAN



3 FIRST FLOOR - MEN'S LOBBY RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



4 FIRST FLOOR - MEN'S LOBBY RESTROOM INT. ELEVATION
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5 FIRST FLOOR - MEN'S LOBBY RESTROOM INT. ELEVATIONS
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*SEE SHEETS A-104 - A-105 FOR FULL FIXTURE SCHEDULE.
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CAD DWG FILE: A-202_O2409_01

DRAWN BY: EL

CHECKED BY: BMS

DESIGNED BY: EL

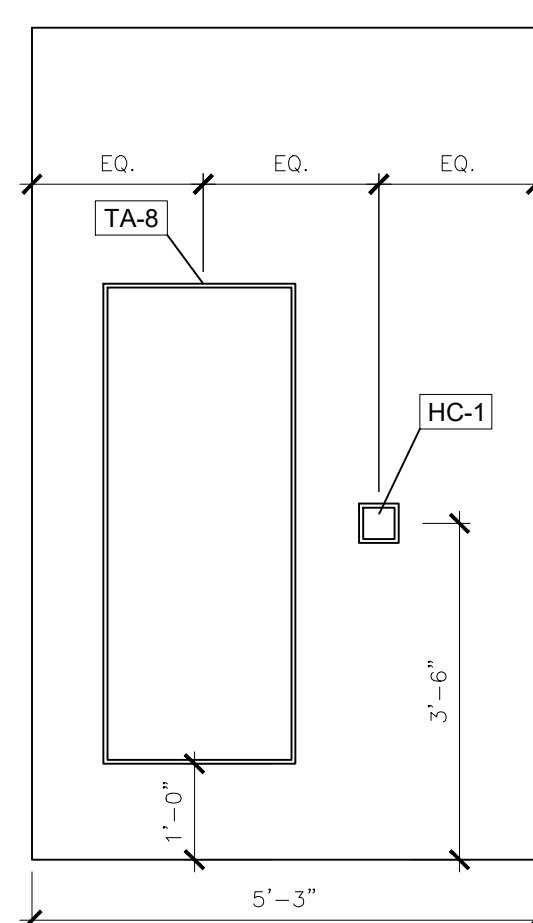
SHEET TITLE:

FIRST FL. MEN'S
LOBBY RESTROOM
ELEVATIONS

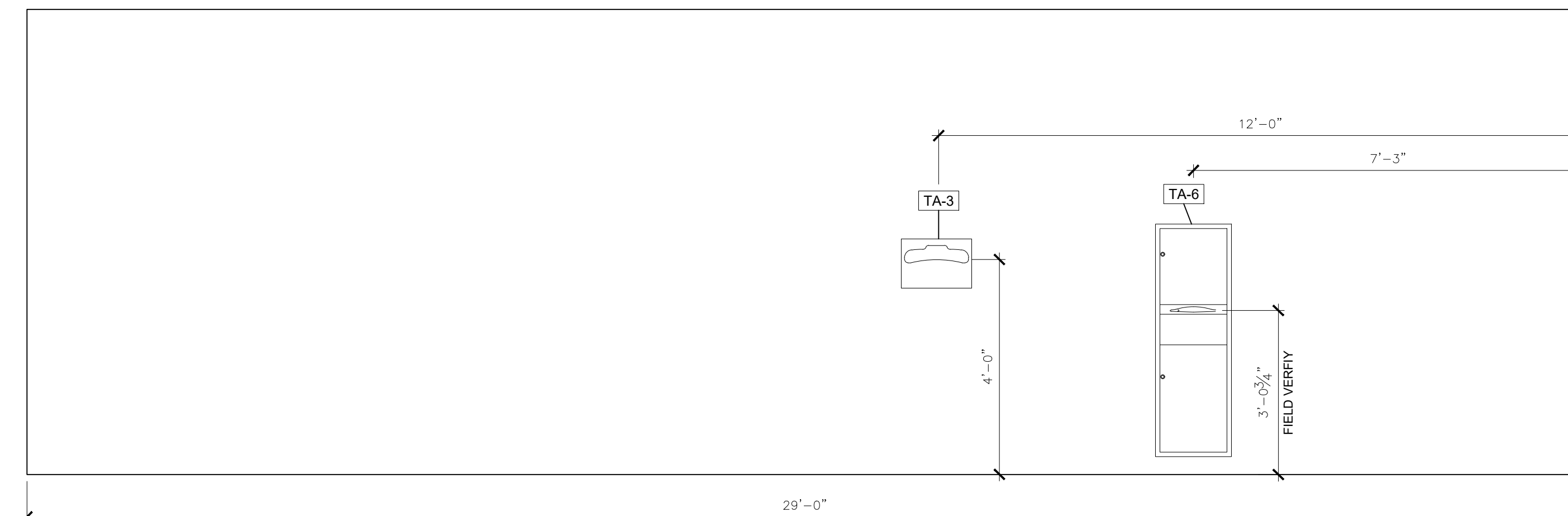
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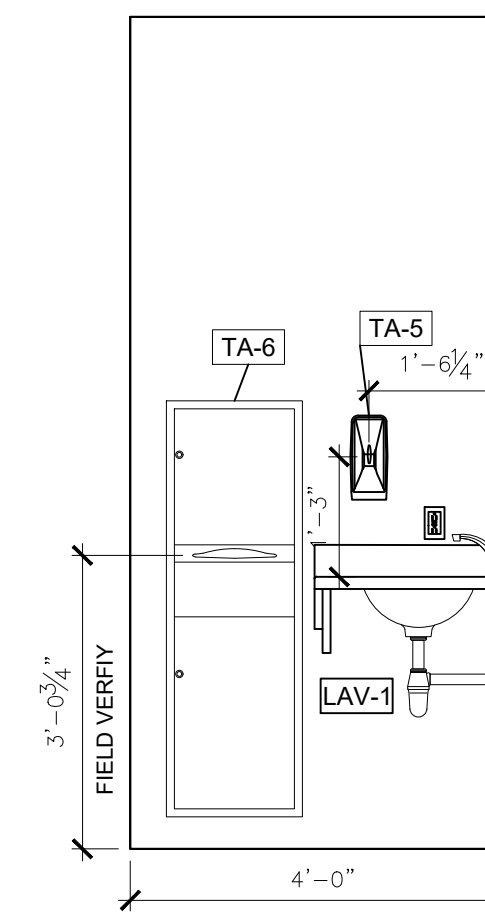
10 OF 38 SHEETS



6 FIRST FLOOR - MEN'S LOBBY RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



7 FIRST FLOOR - MEN'S LOBBY RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"

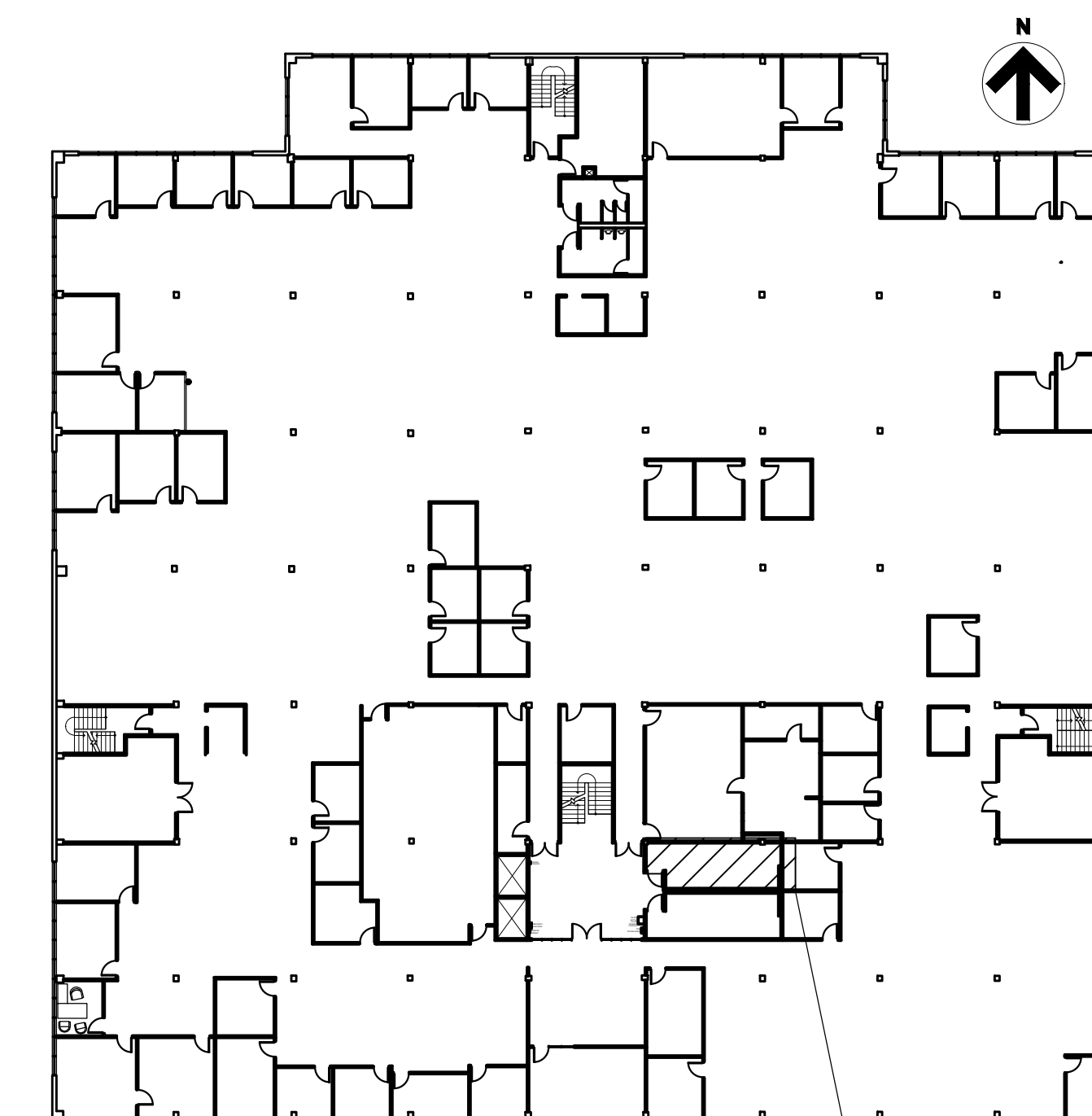


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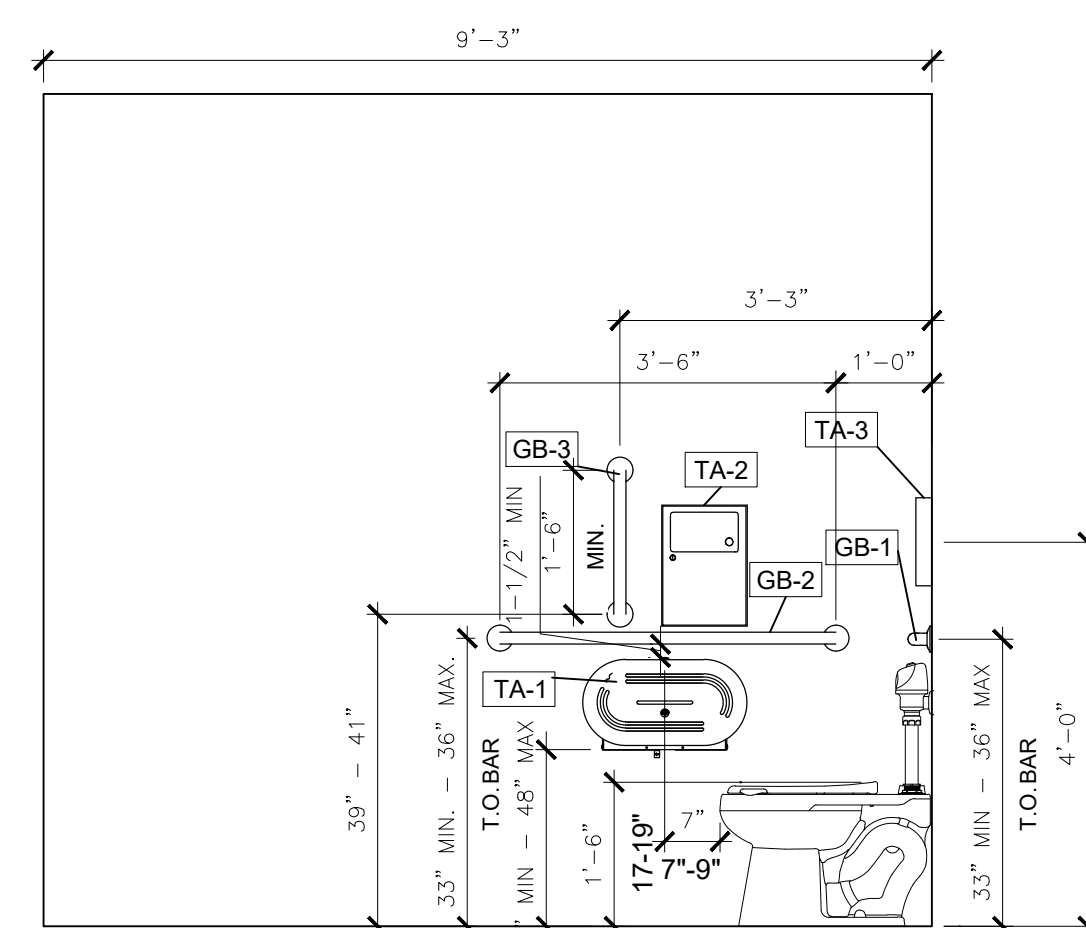


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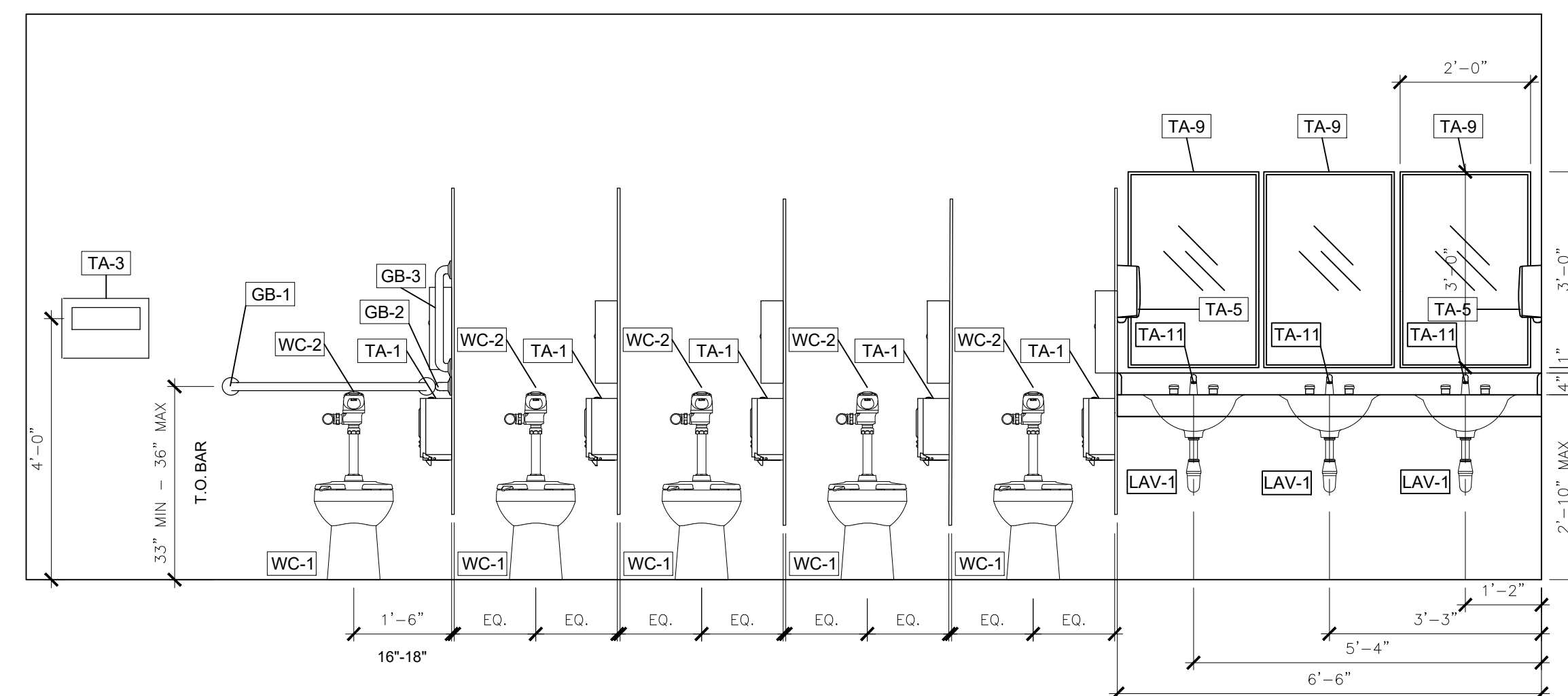
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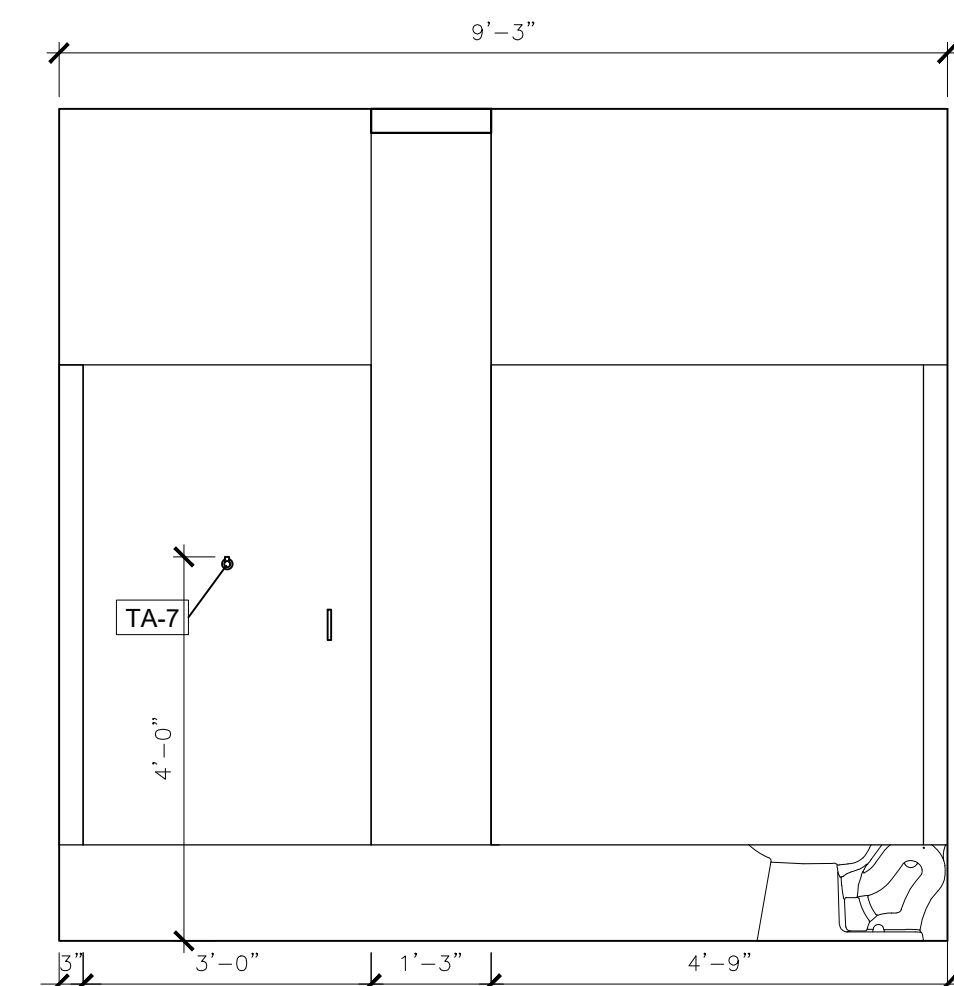
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A-203
KEYPLAN HOWERTON SECOND FLOOR KEY PLAN



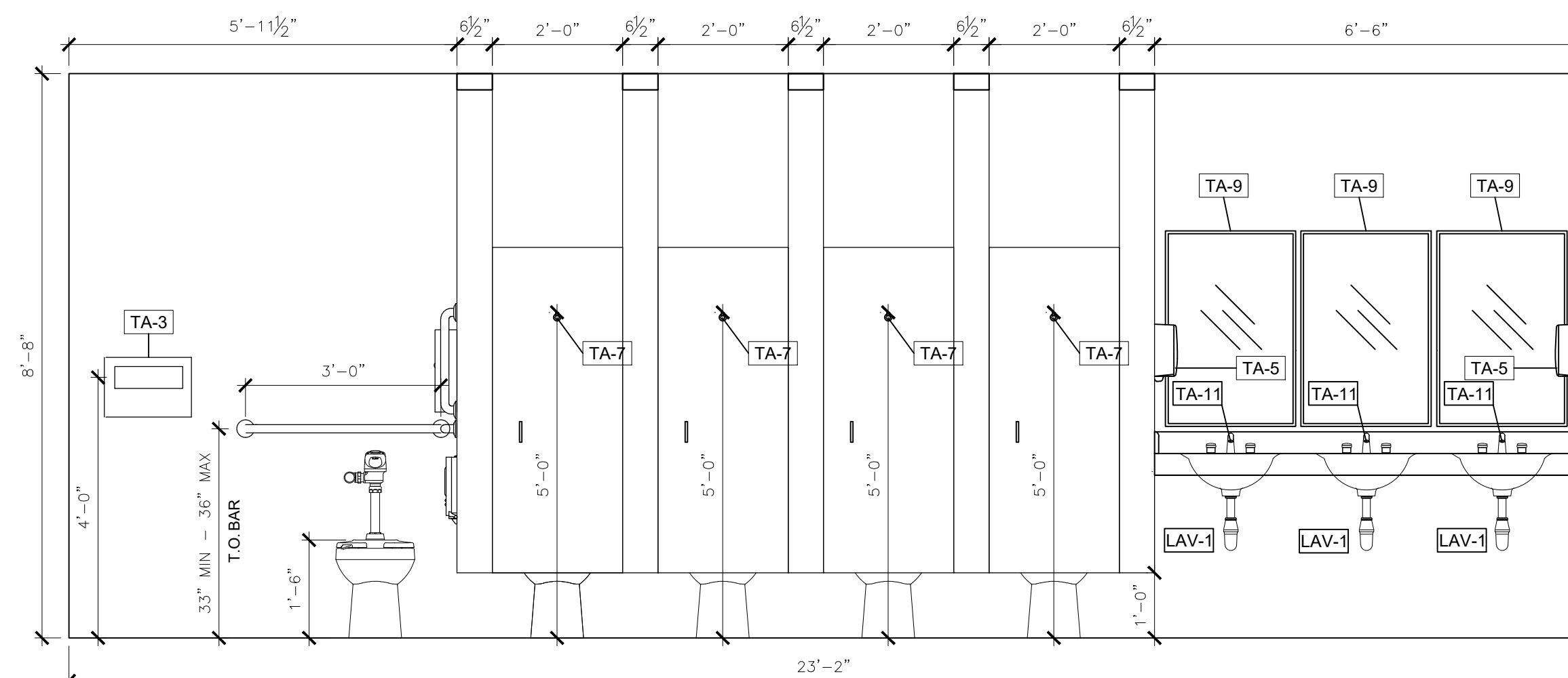
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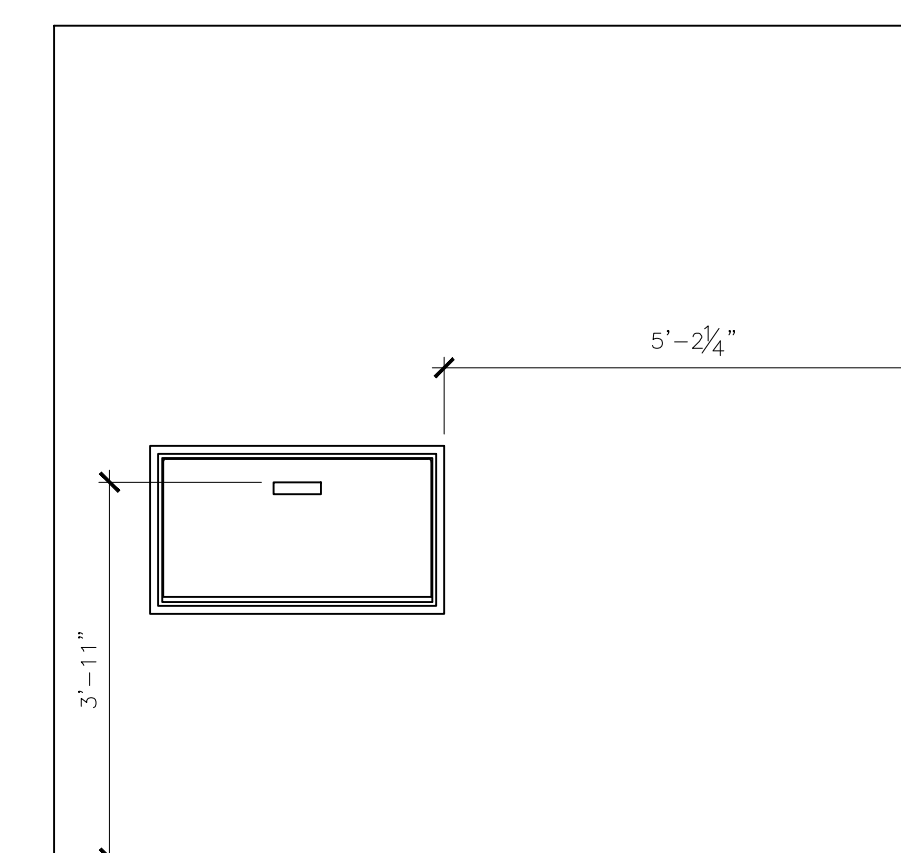
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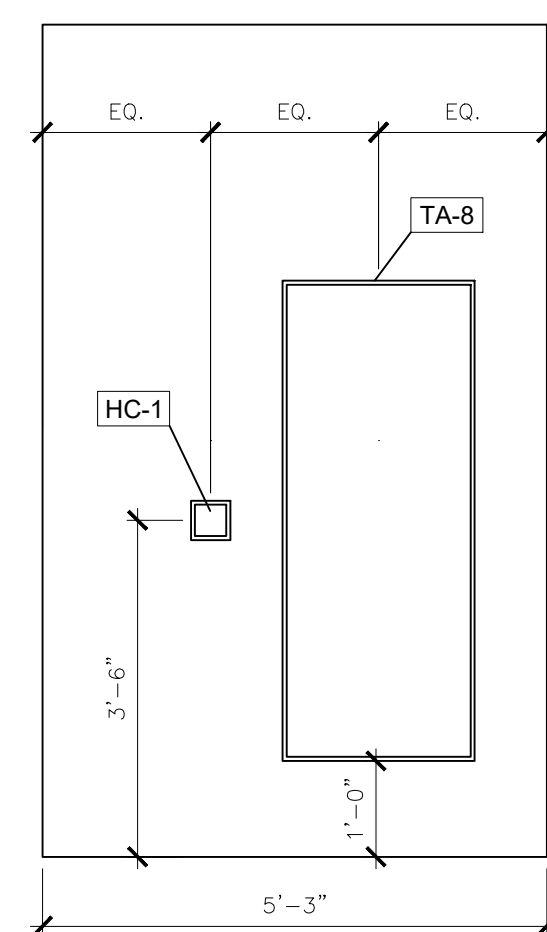
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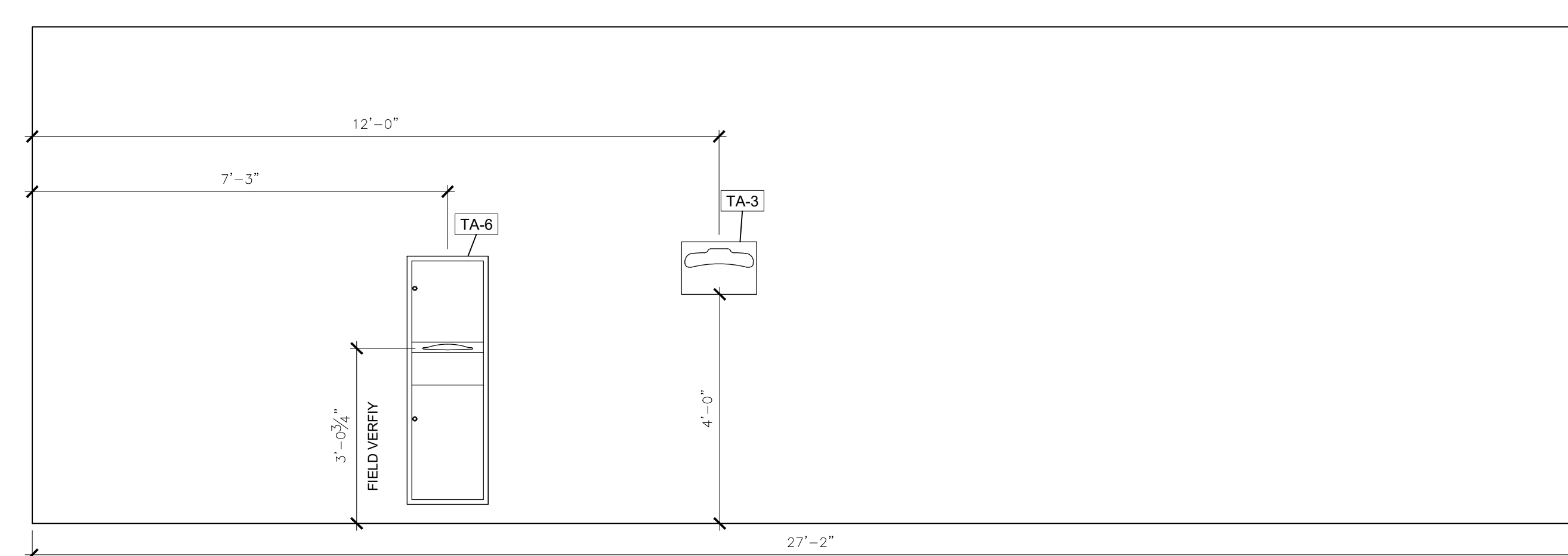
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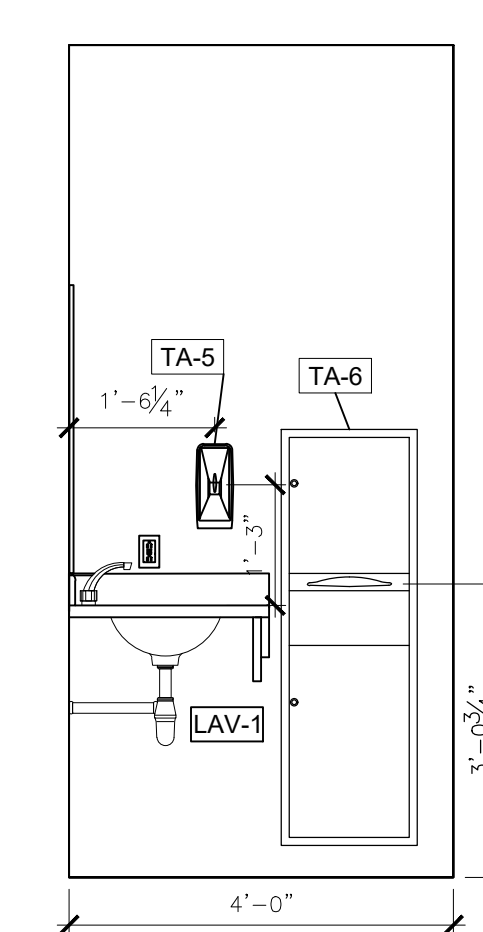
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SCALE: 1/2" = 1'-0"



6 SECOND FLOOR - WOMEN'S LOBBY RESTROOM INT. ELEVATION
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DATE:

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CAD DWG FILE: A-203_O2409_01

DRAWN BY: EL

CHECKED BY: BMS

DESIGNED BY: EL

SHEET TITLE:

SECOND FL. WOMEN'S
LOBBY RESTROOM
ELEVATIONS

SHEET NUMBER:

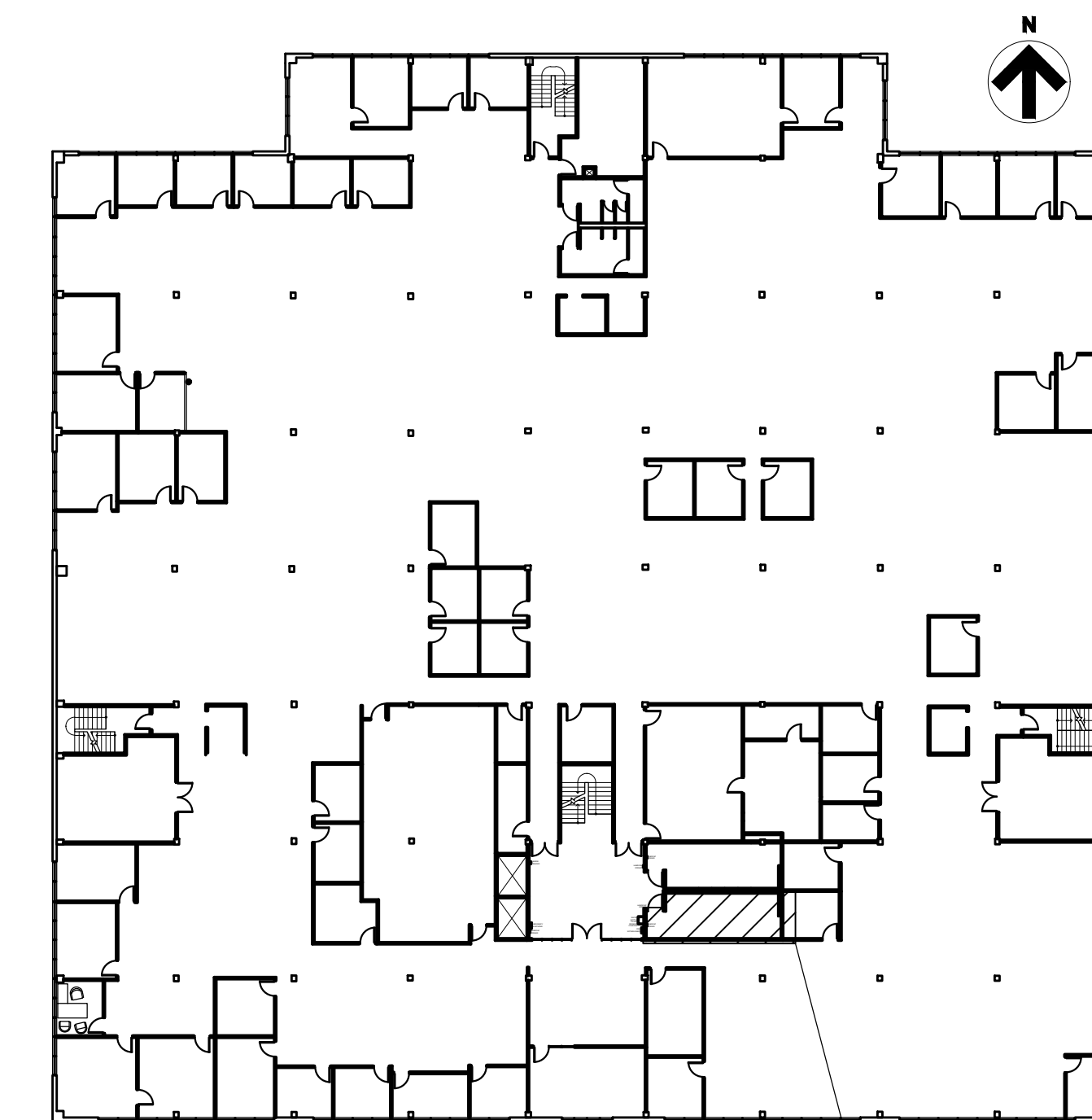
A-203

11 OF 38 SHEETS

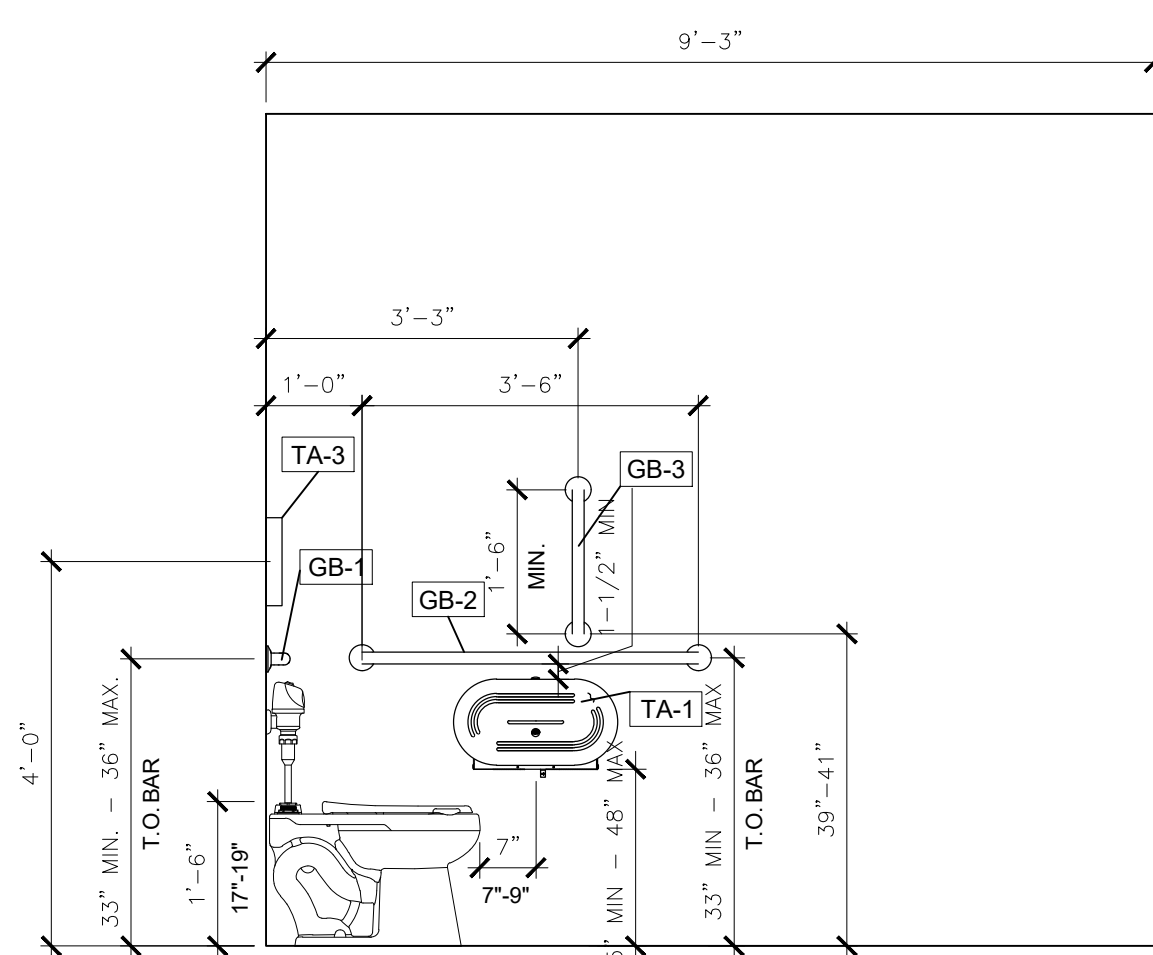


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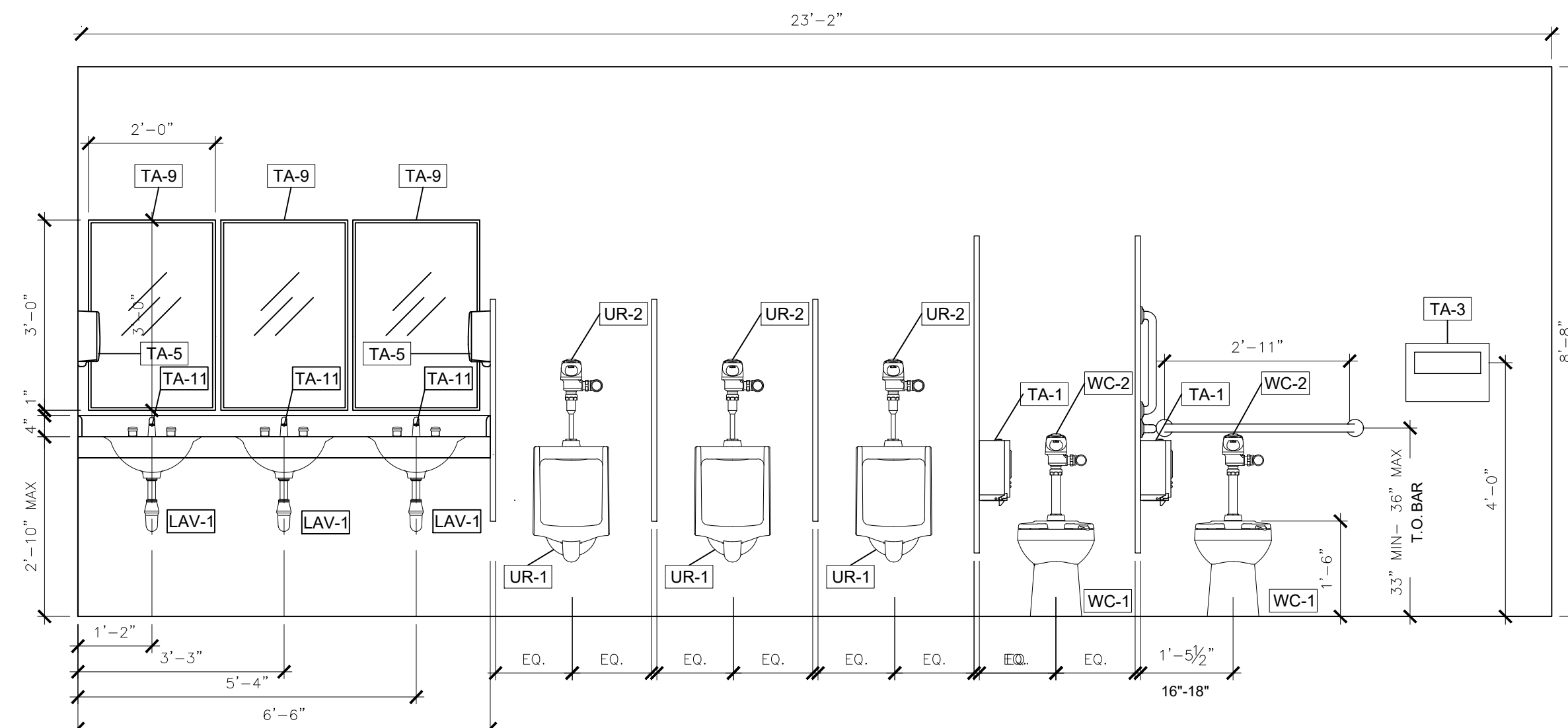
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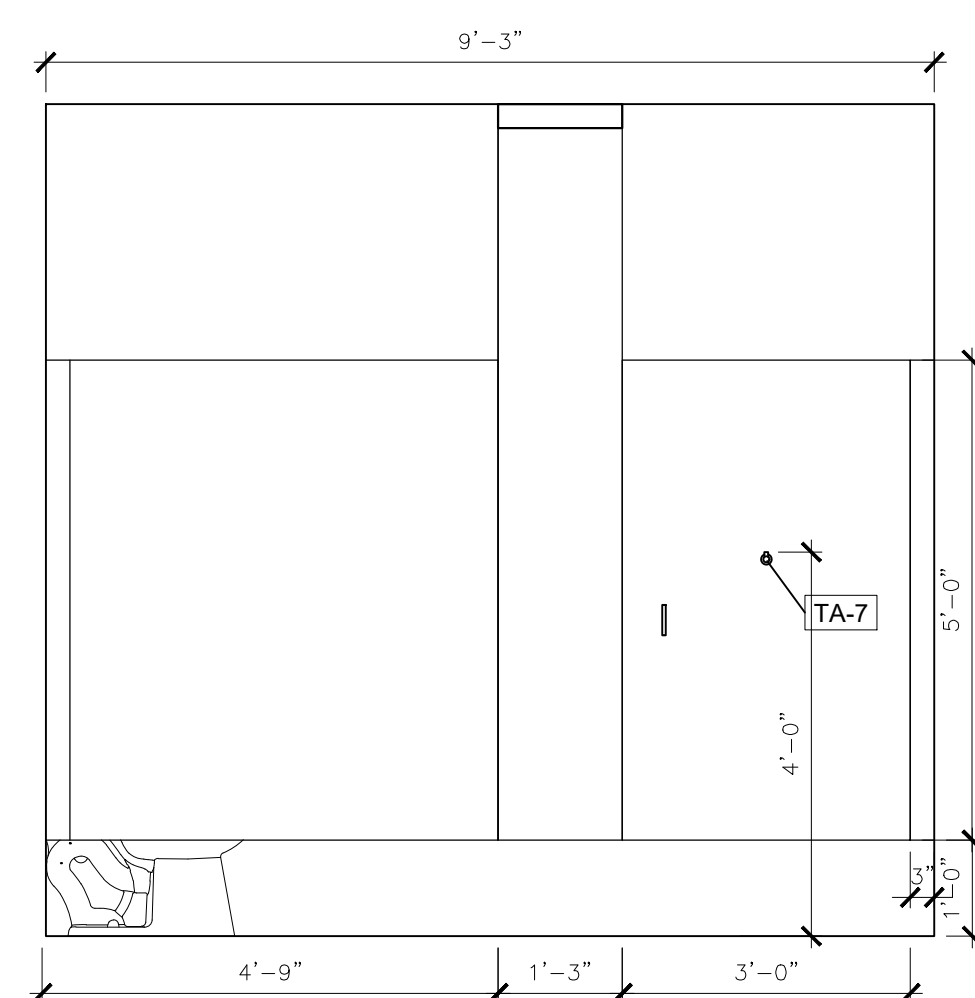
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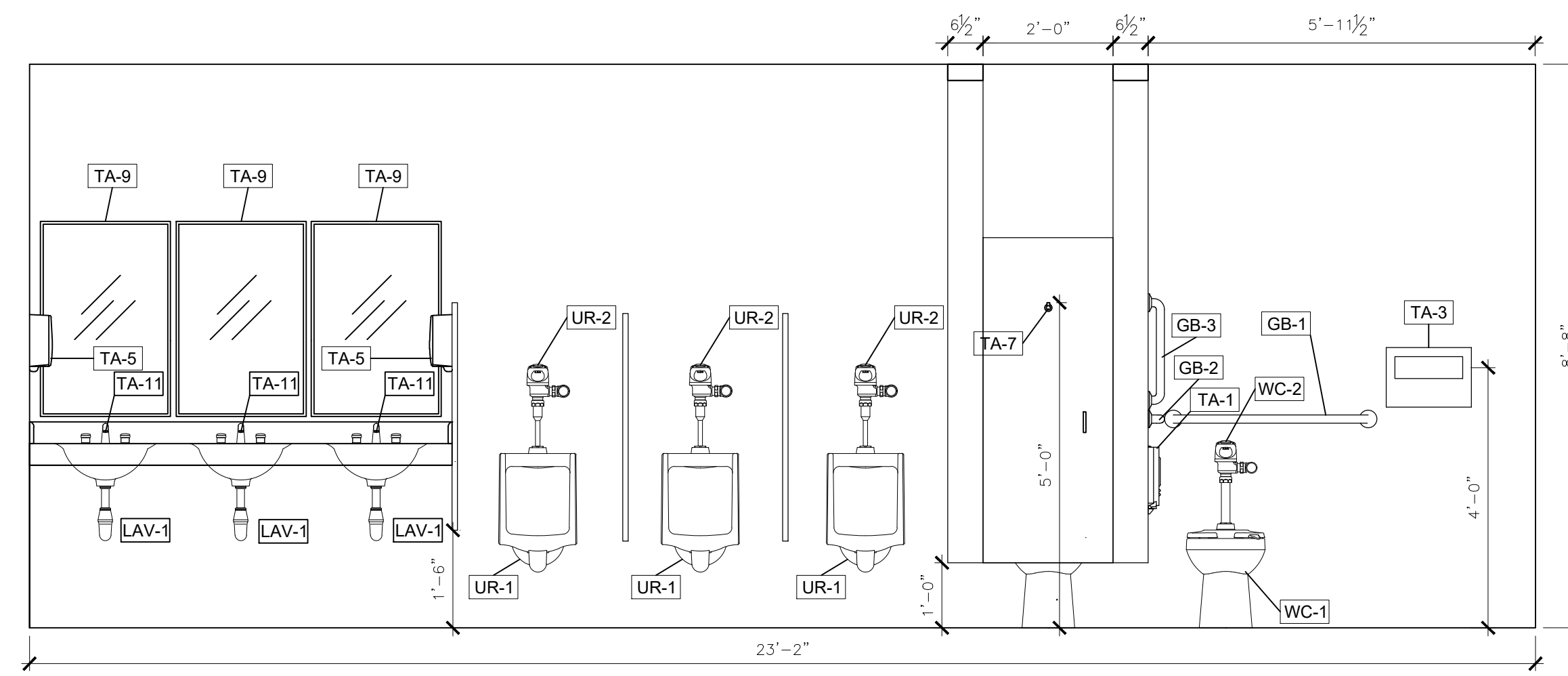
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SCALE: 1/2" = 1'-0"



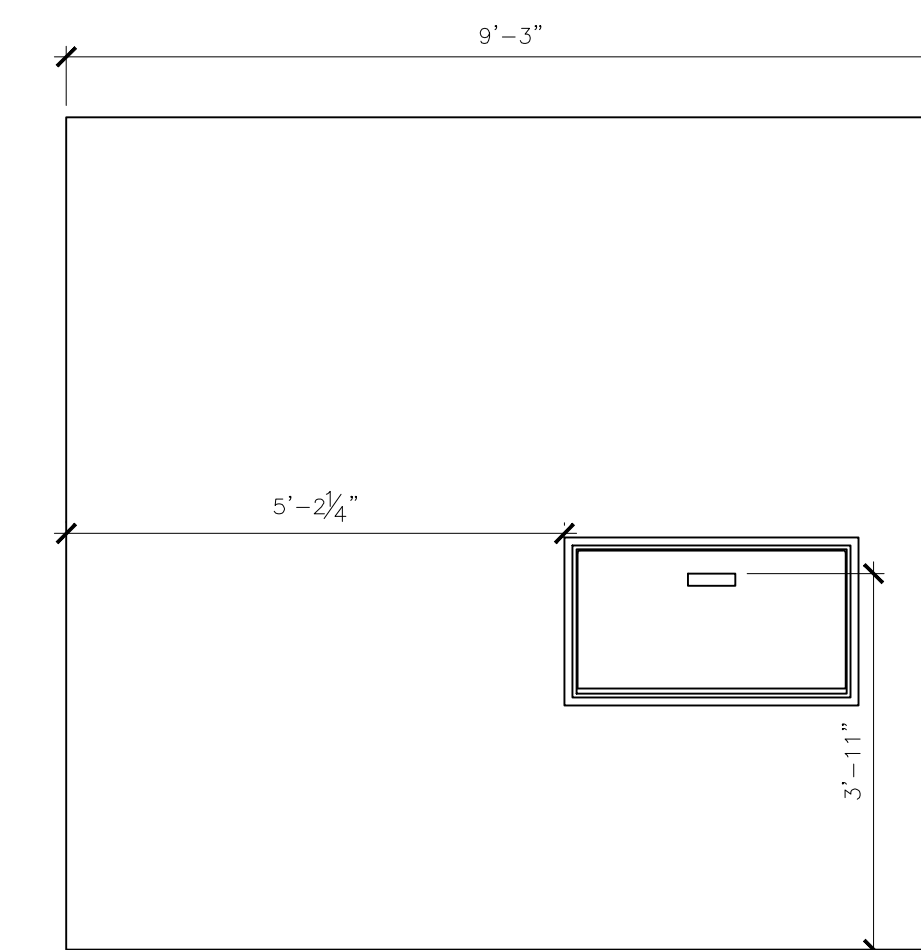
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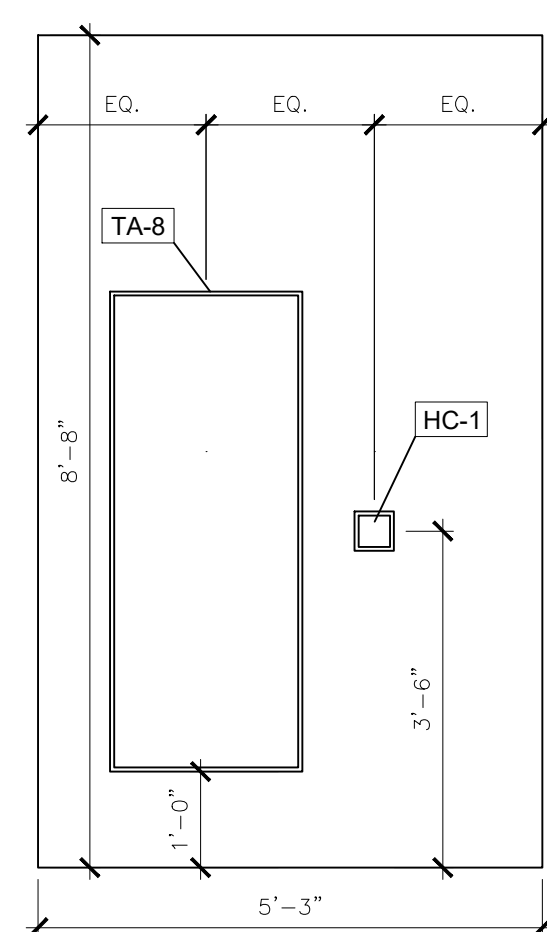
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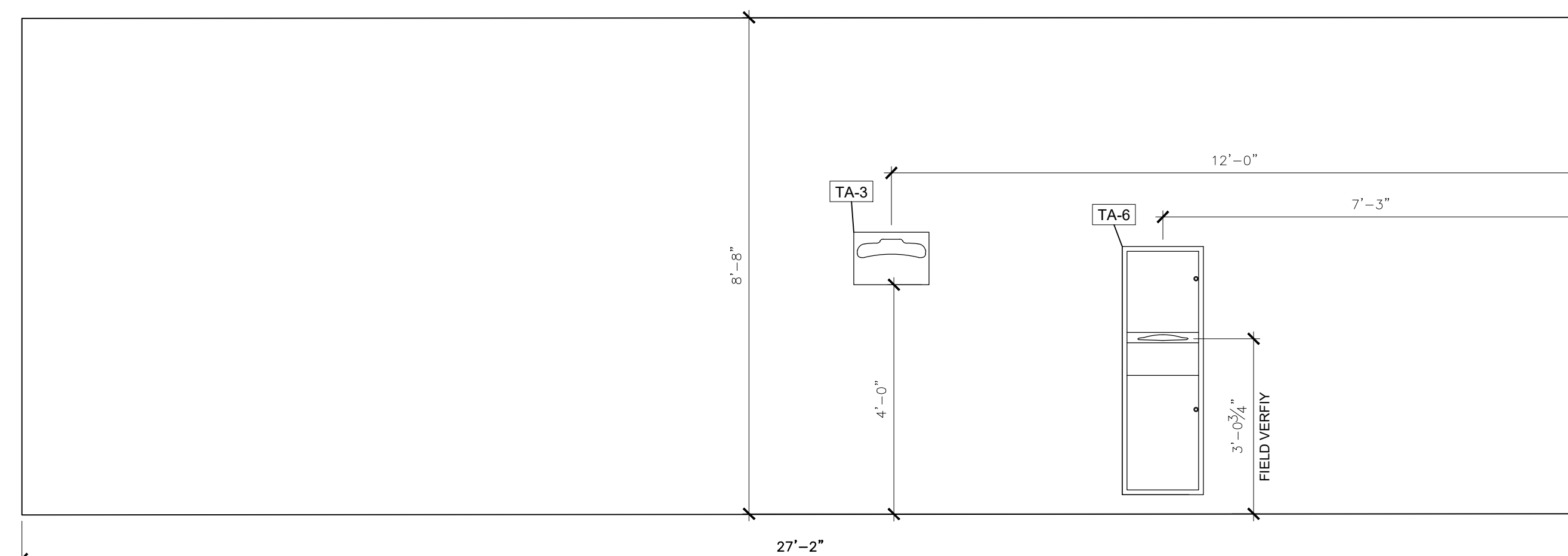
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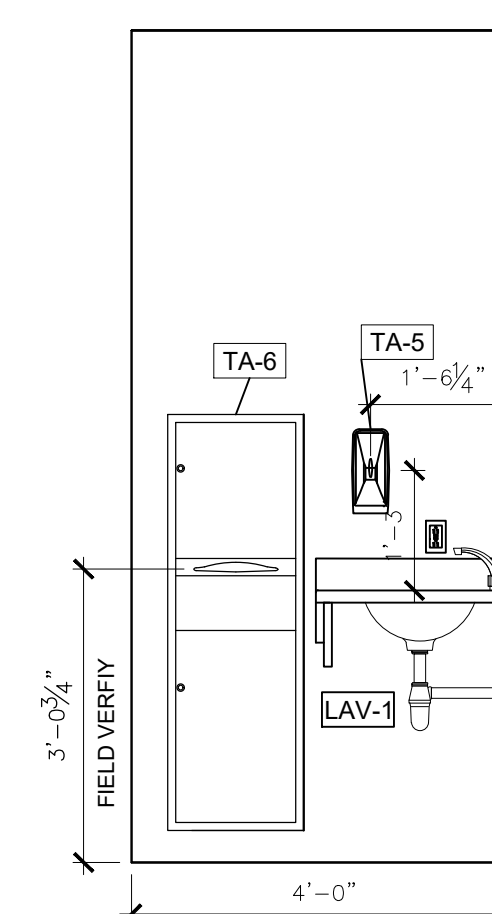
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WC-1	TOILET
WC-2	TOILET FLUSHOMETER
UR-1	URINAL
UR-2	URINAL FLUSHOMETER

*SEE SHEETS A-104 - A-105 FOR FULL FIXTURE SCHEDULE.
*ALL FIXTURES TO BE LOCATED AT ADA STANDARD HEIGHTS & SETBACKS.

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HOWERTON STATE
OFFICE BUILDING

RENOVATE LOBBY
AND RESTROOMS
1ST AND 2ND FLOOR
615 HOWERTON COURT
JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
DATE: 04/14/2025
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

CAD DWG FILE: A-204_O2409_01
DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
**SECOND FL. MEN'S
LOBBY RESTROOM
ELEVATIONS**

SHEET NUMBER:

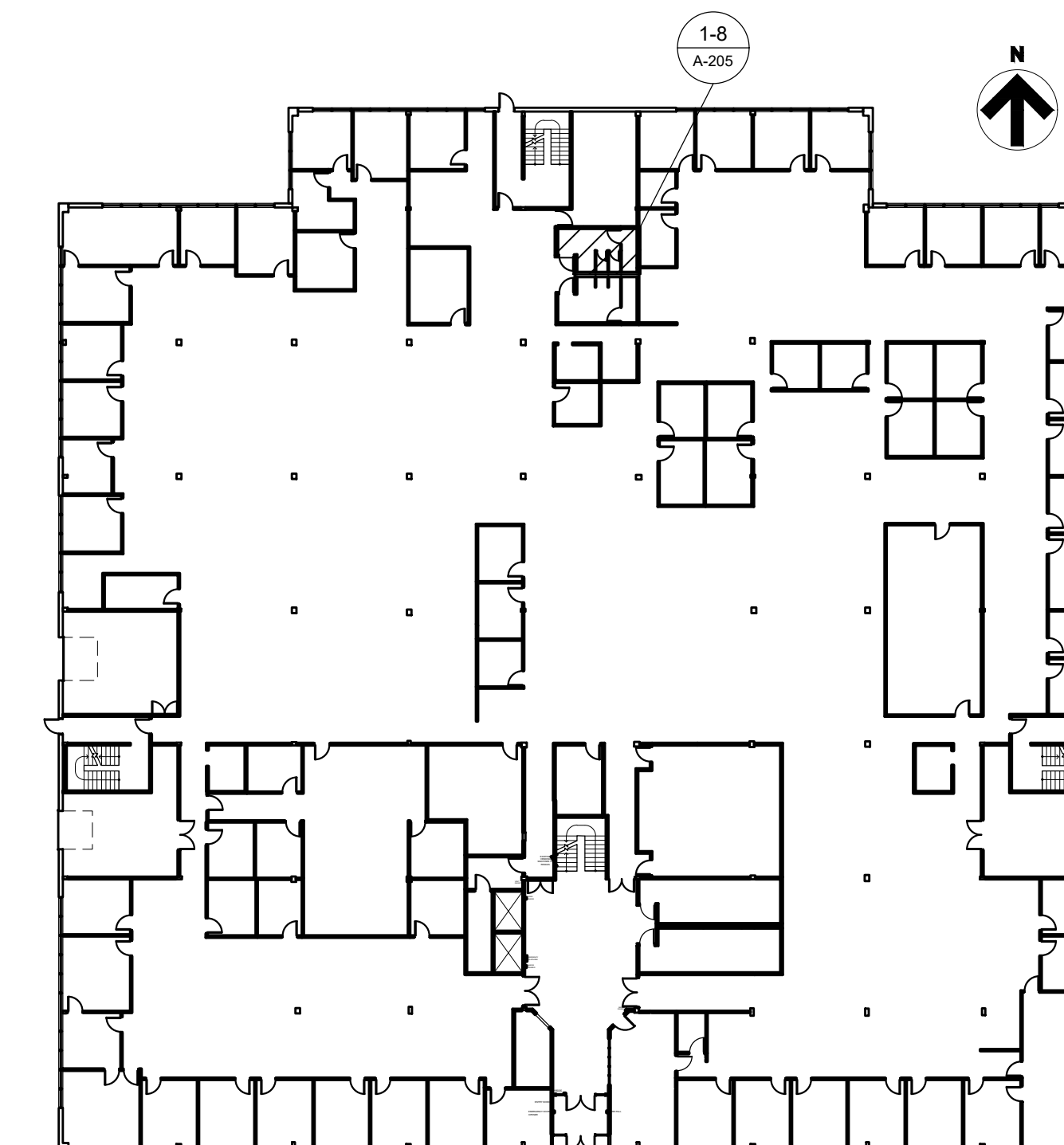
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12 OF 38 SHEETS

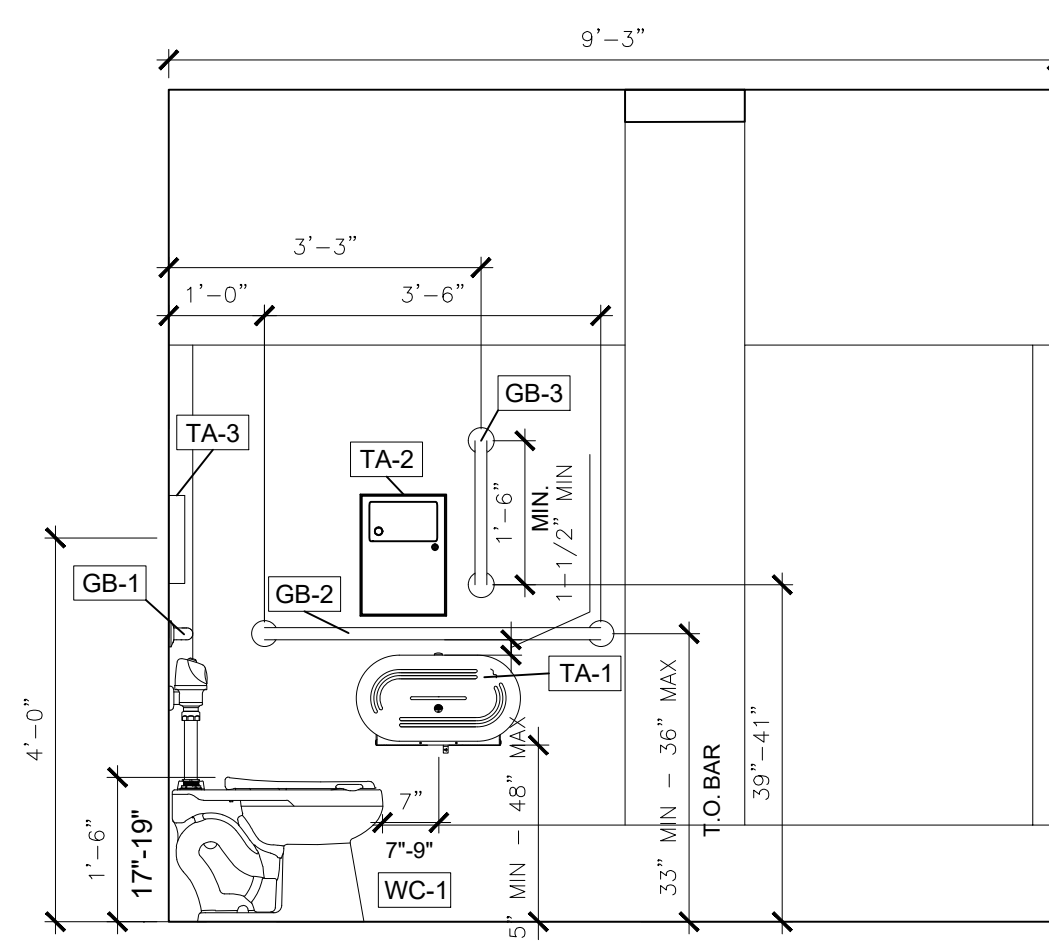


Brad M. Schaefer - Architect
MO# A-2009027294

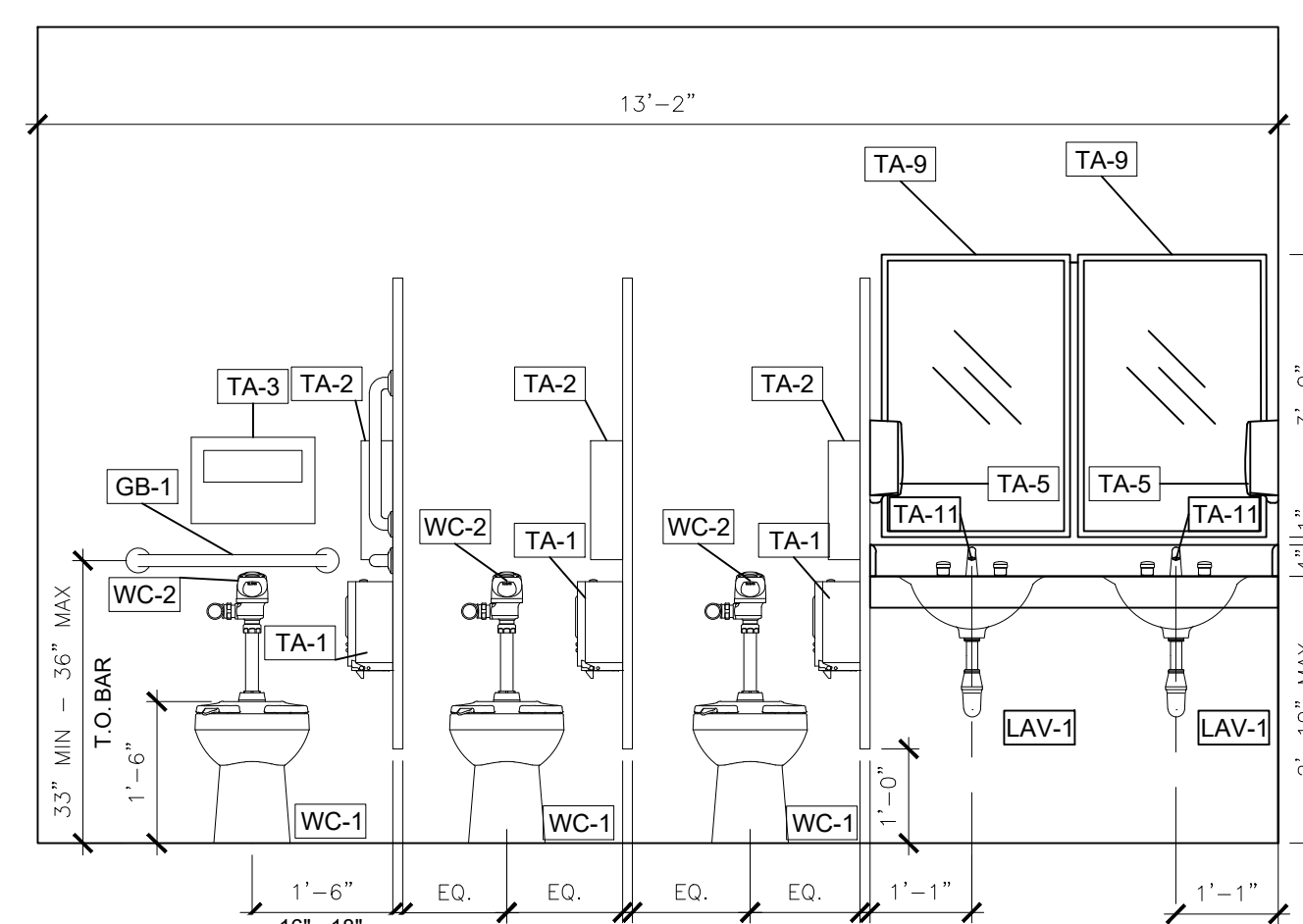
**BID
DOCUMENTS**



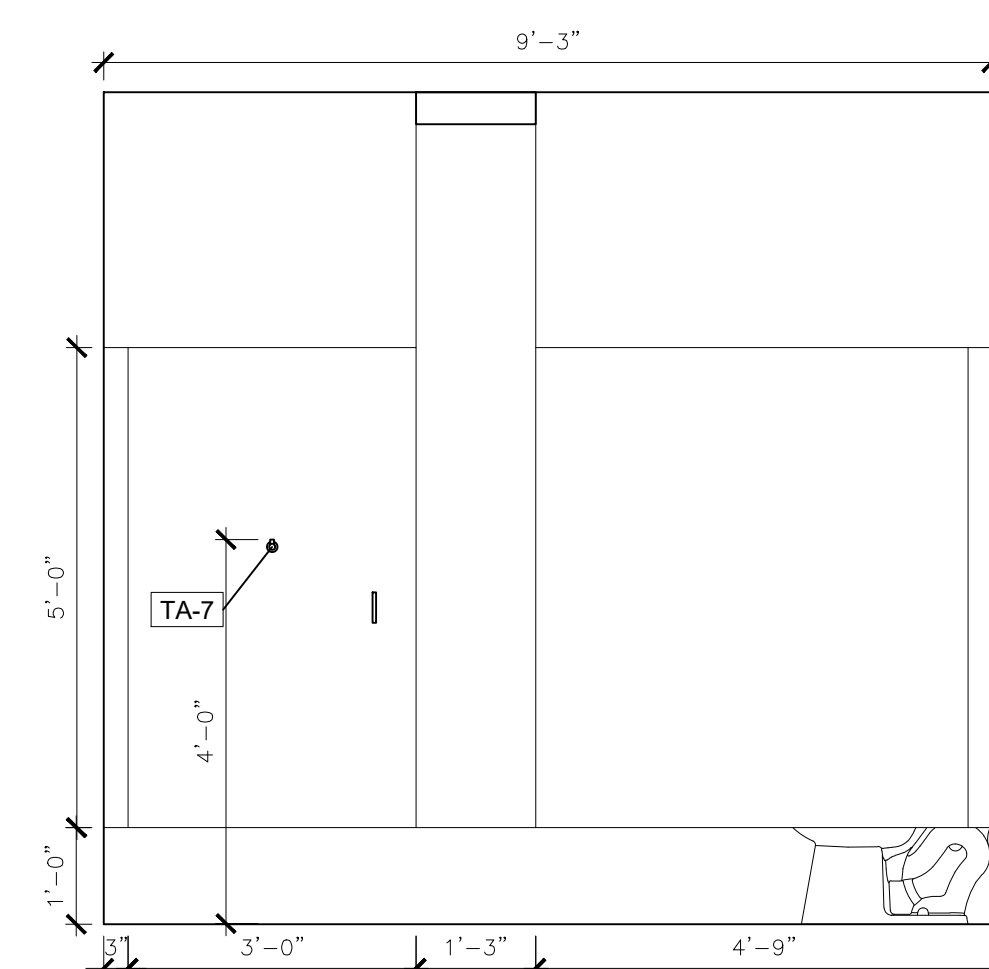
KEYPLAN HOWERTON FIRST FLOOR KEY PLAN



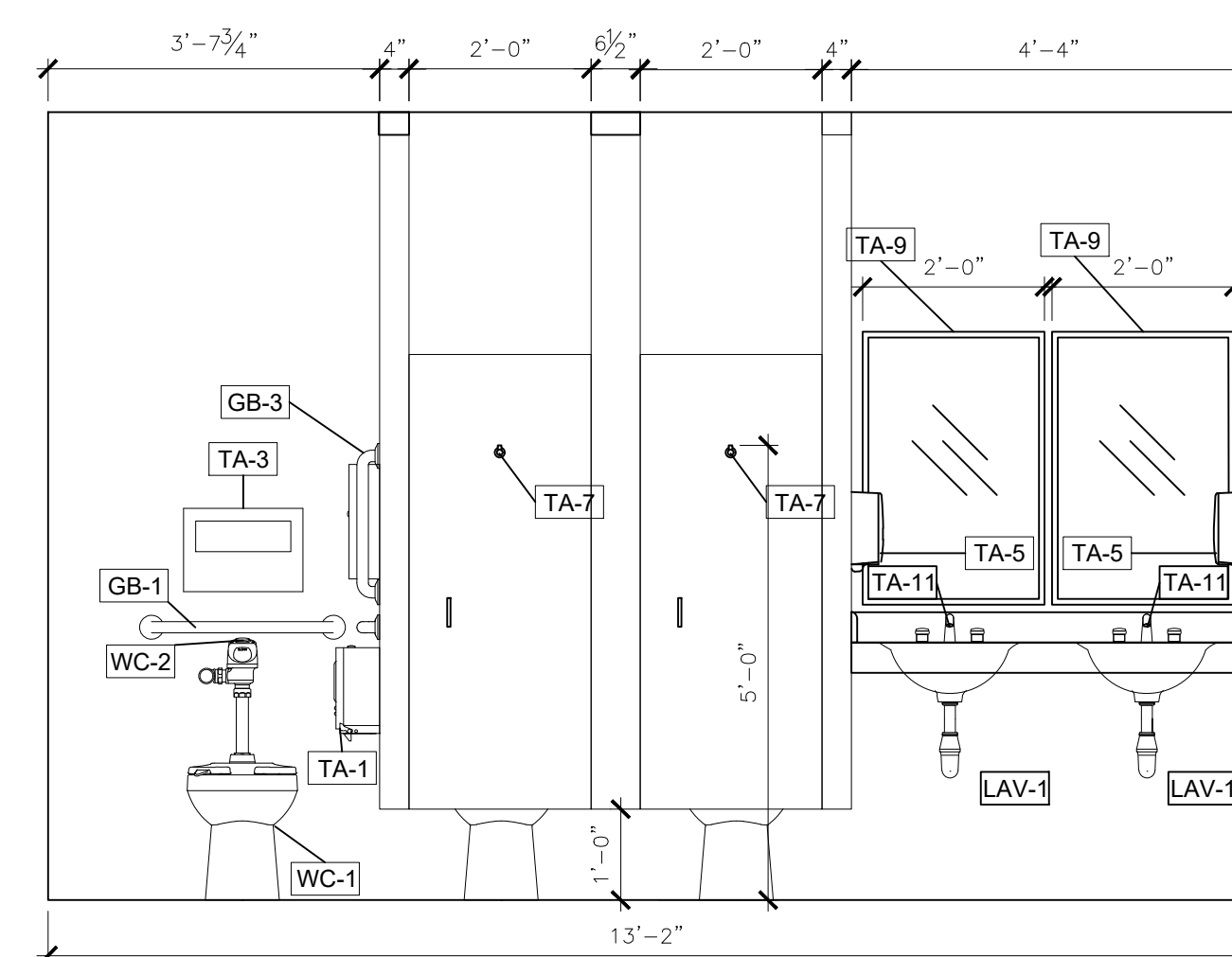
1 FIRST FLOOR - WOMEN'S STAFF RESTROOM INT. SECTION
SCALE: 1/2" = 1'-0"



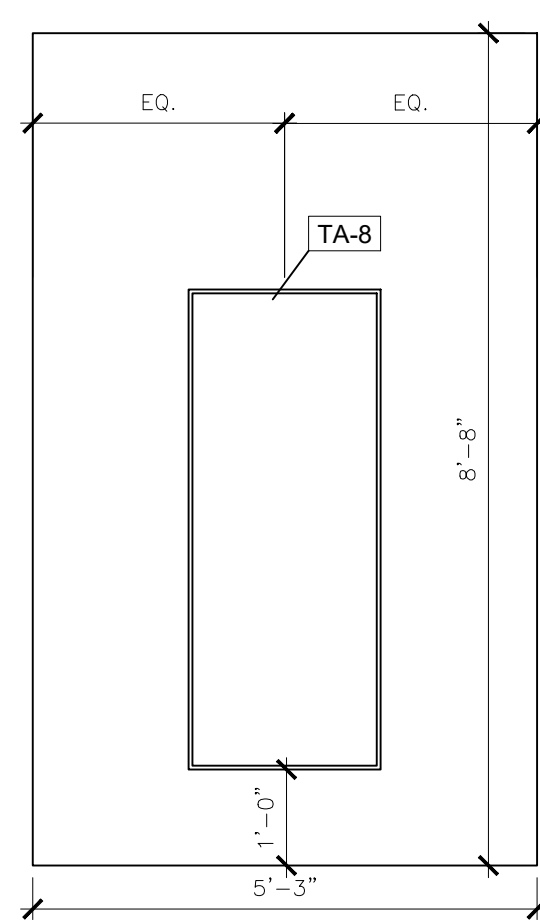
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SCALE: 1/2" = 1'-0"



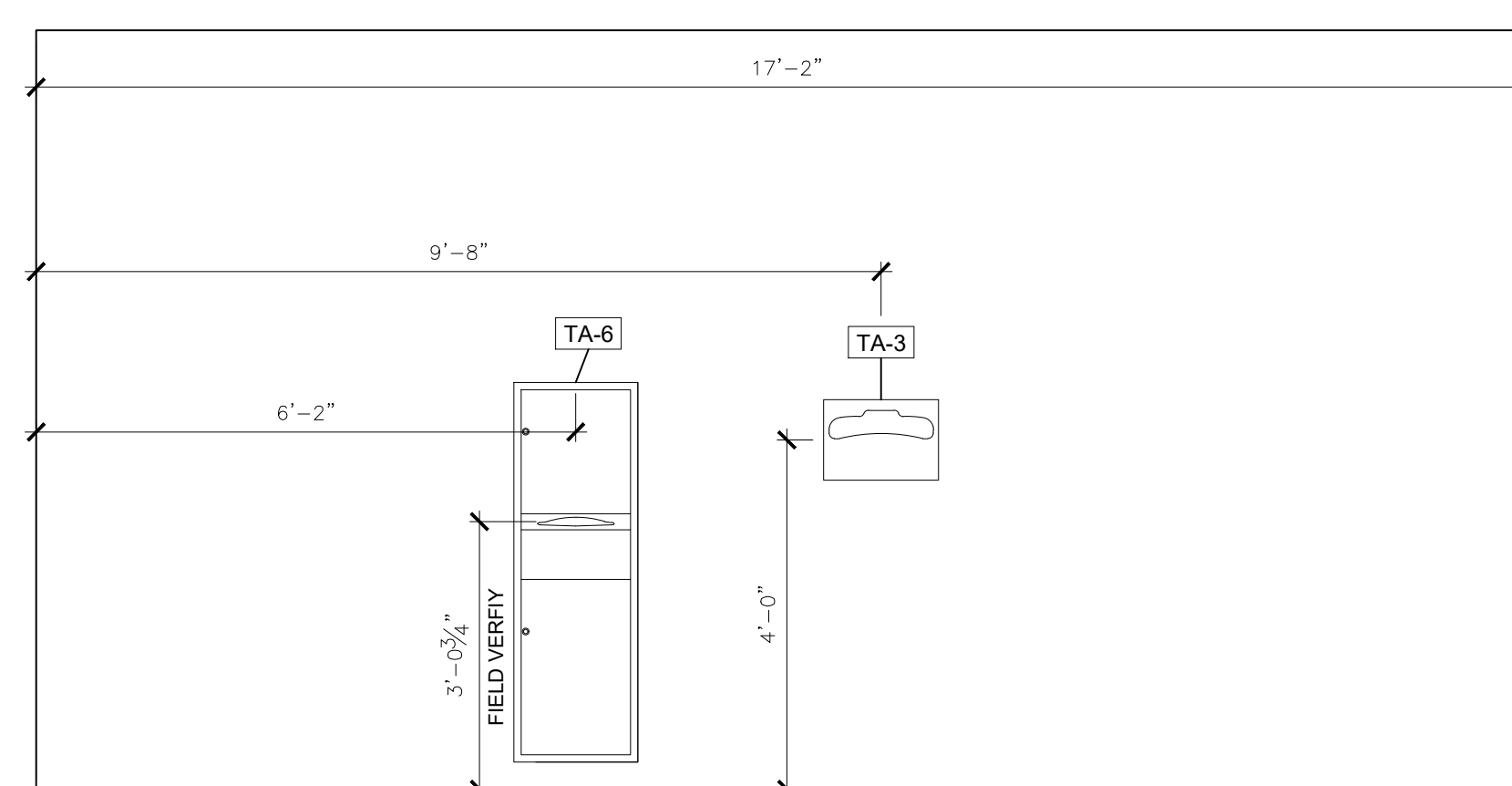
3 FIRST FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



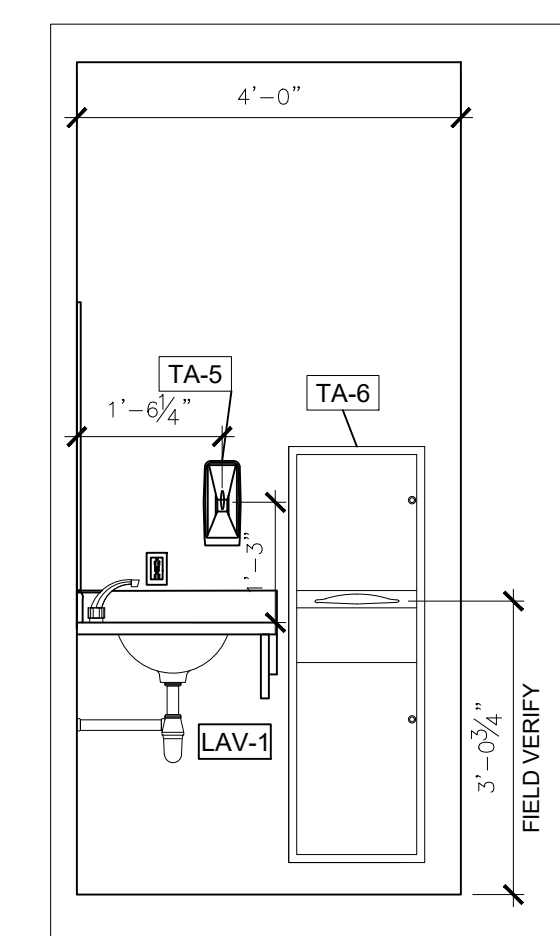
4 FIRST FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



5 FIRST FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/4" = 1'-0"



6 FIRST FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



7 FIRST FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/4" = 1'-0"

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RESTROOM FIXTURE SCHEDULE

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GB-1	36" GRAB BAR
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GB-3	18" GRAB BAR
LAV-1	LAVATORY
TA-1	TOILET TISSUE DISPENSER
TA-2	SANITARY NAPKIN DISPOSAL
TA-3	TOILET SEAT COVER DISPENSER
TA-4	BABY CHANGING STATION
TA-5	SOAP DISPENSER
TA-6	COMBINATION UNIT
TA-7	COAT HOOKS (TO BE INSTALLED INSIDE OF STALLS)
TA-8	24" X 72" MIRROR
TA-9	24" 36" MIRROR
TA-11	FAUCET
WC-1	TOILET
WC-2	TOILET FLUSHOMETER
UR-1	URINAL
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REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

CAD DWG FILE: A-205_O2409_01
DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
FIRST FL. WOMEN'S
STAFF RESTROOM
ELEVATIONS

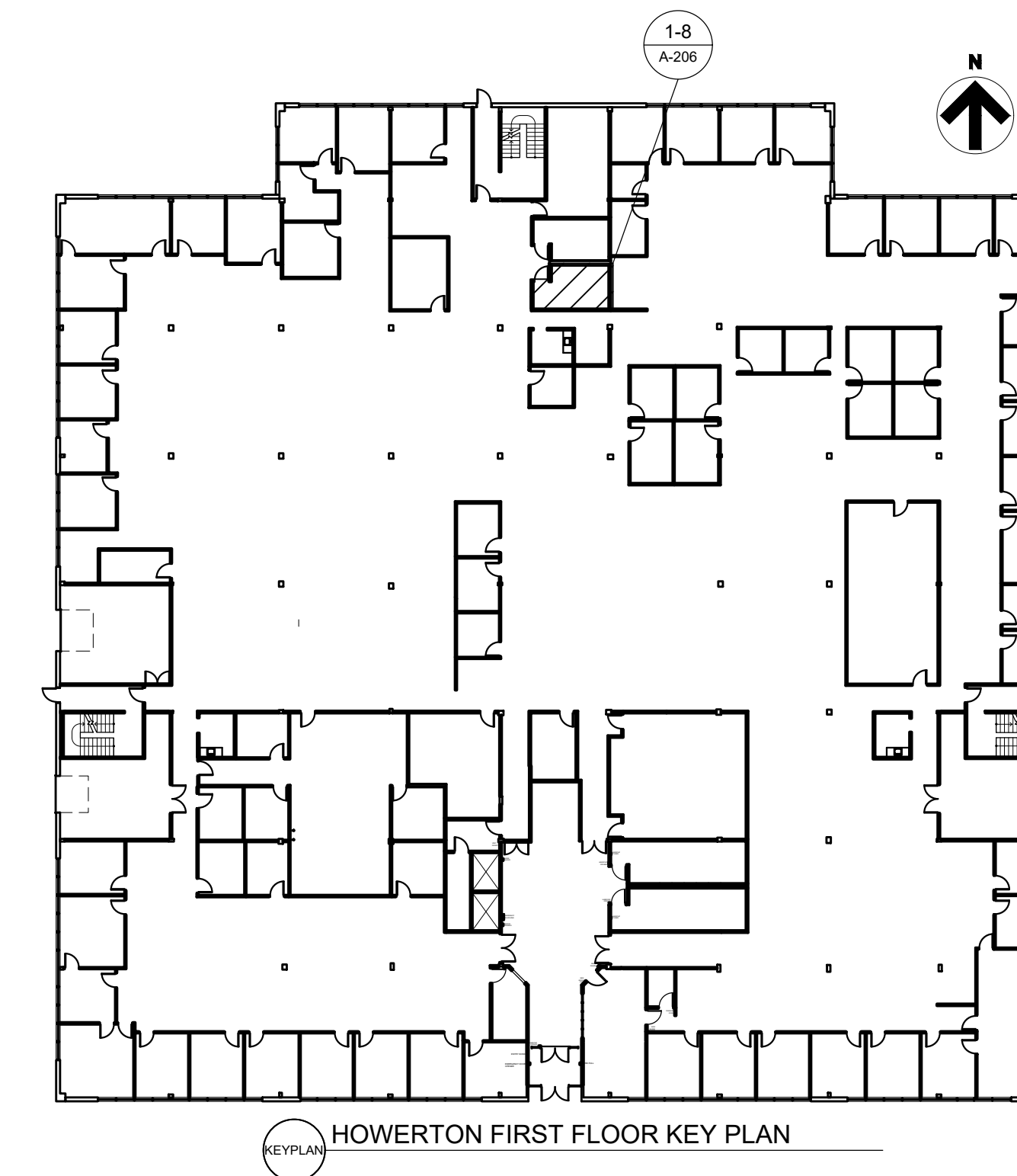
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A-205

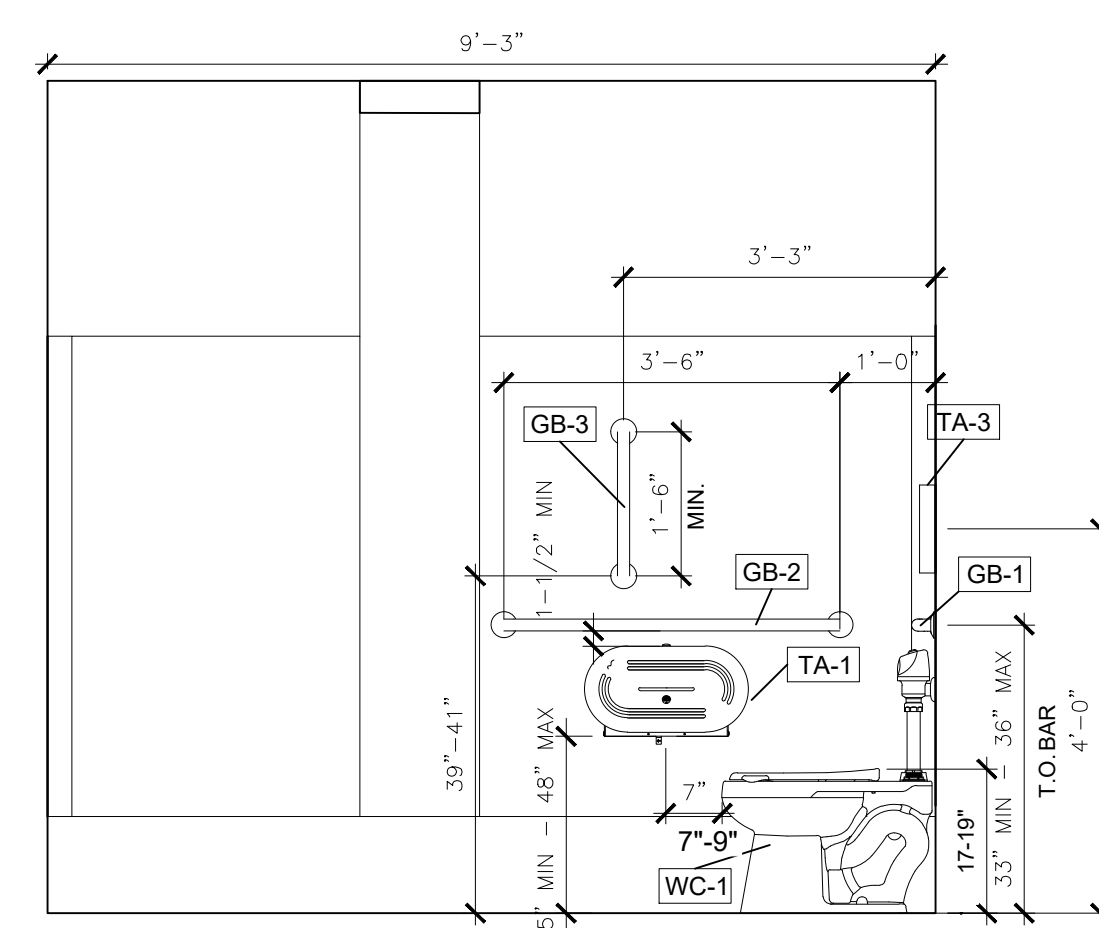


Brad M. Schaefer - Architect
MO# A-2009027294

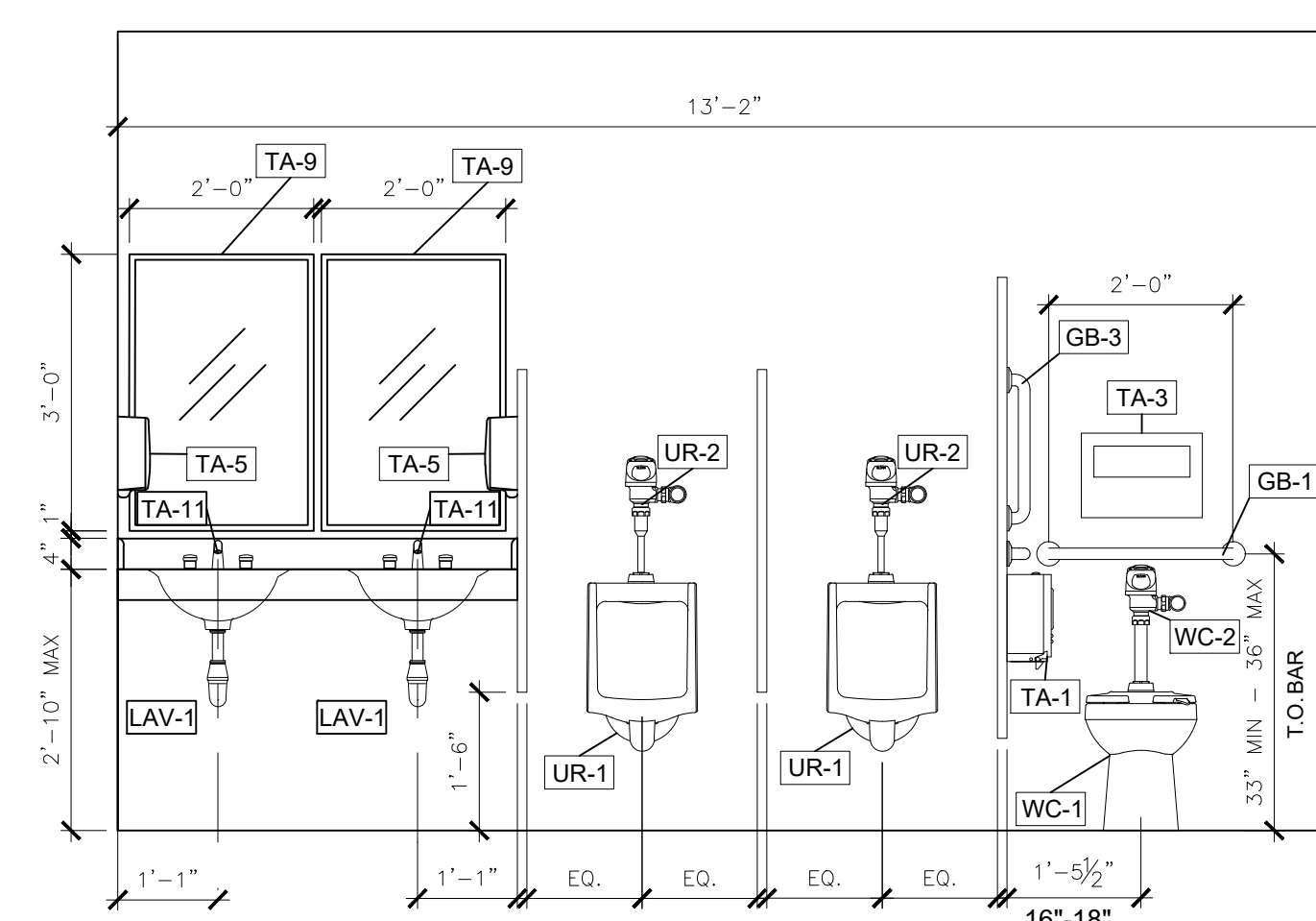
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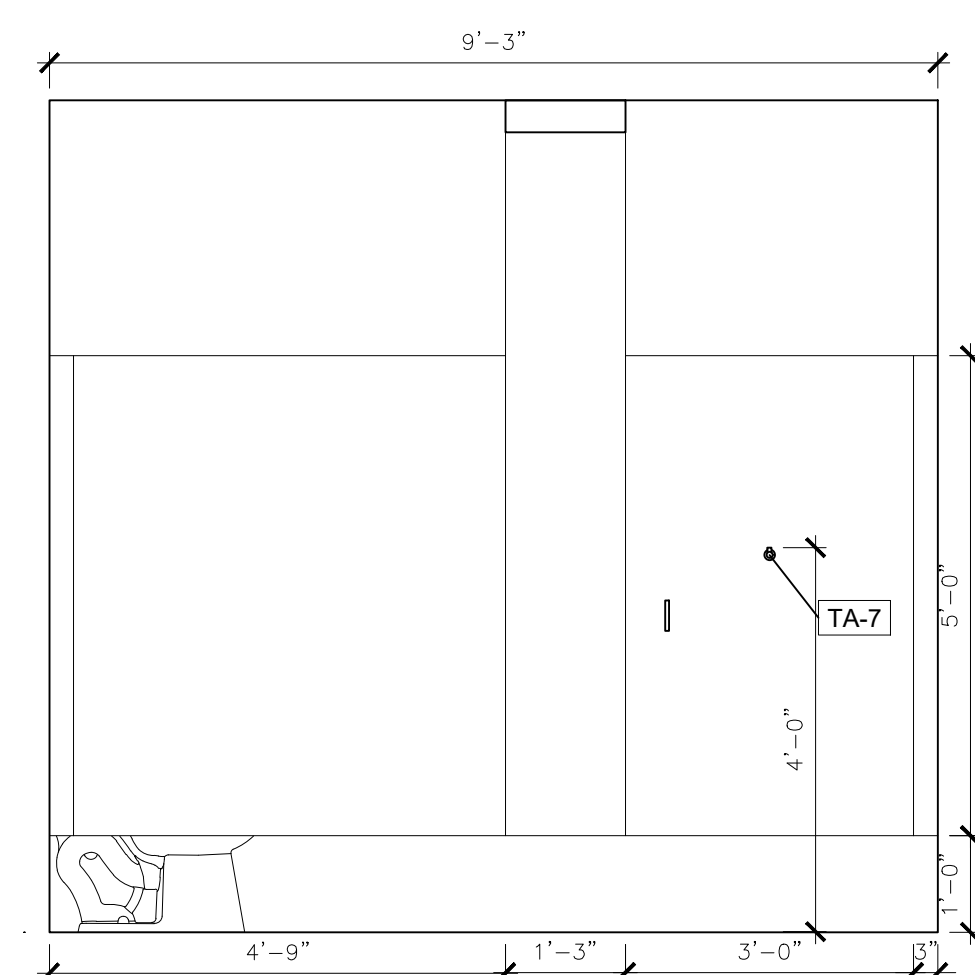
KEYPLAN HOWERTON FIRST FLOOR KEY PLAN



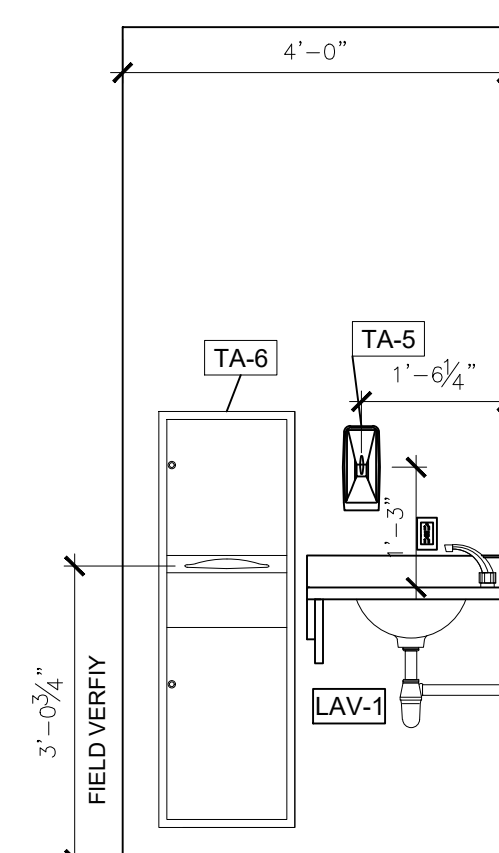
1 FIRST FLOOR - MEN'S STAFF RESTROOM INT. SECTION
SCALE: 1/2" = 1'-0"



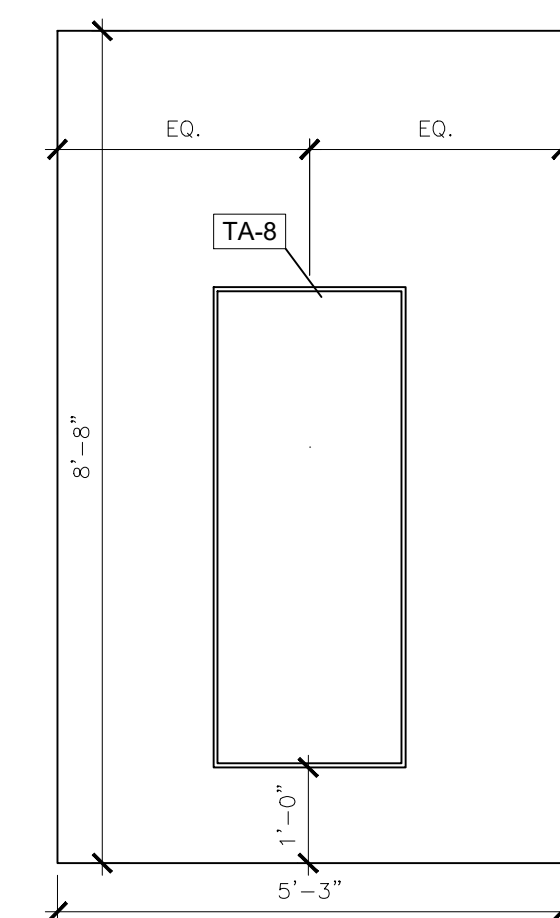
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SCALE: 1/2" = 1'-0"



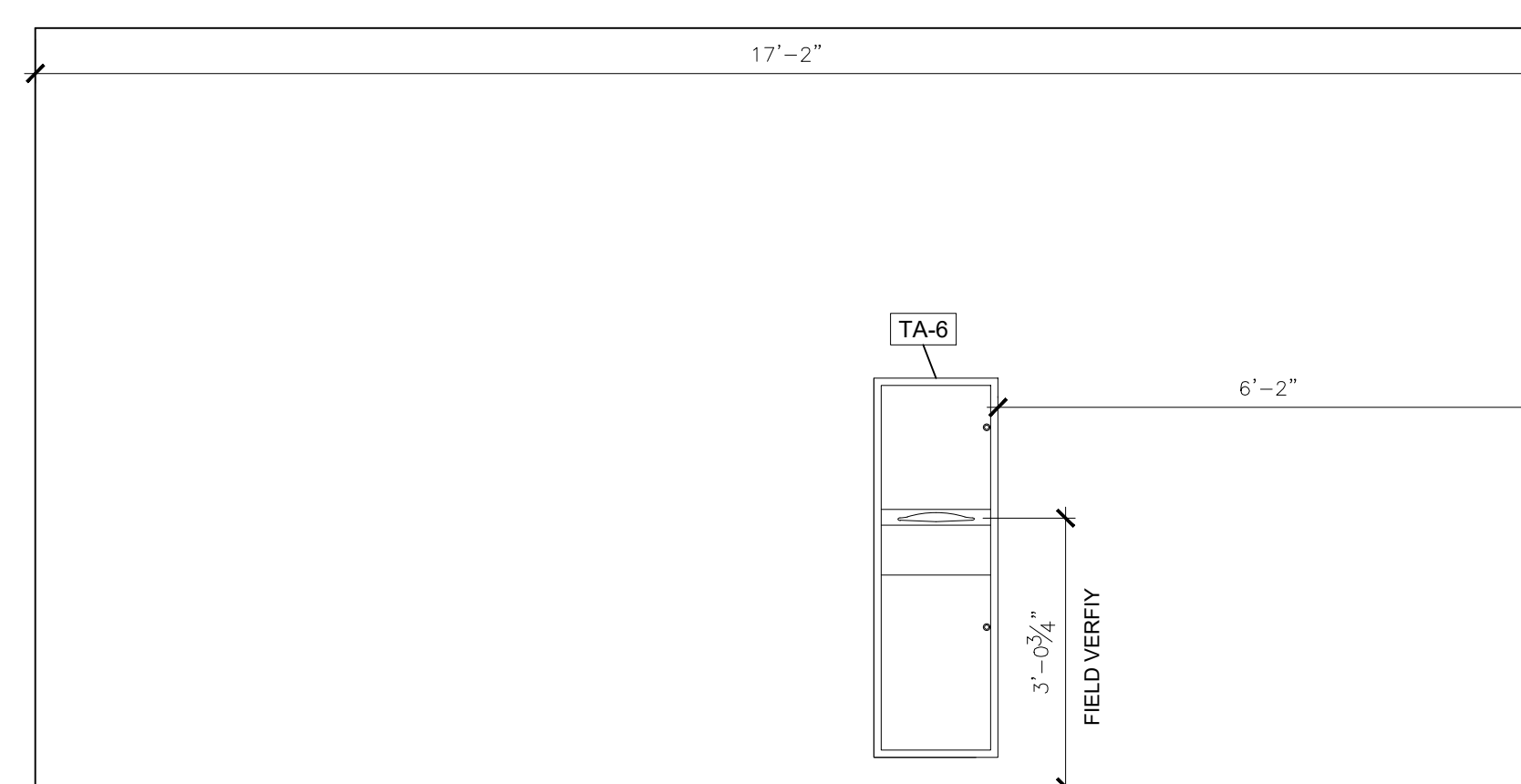
3 FIRST FLOOR - MEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



4 FIRST FLOOR - MEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/4" = 1'-0"



5 FIRST FLOOR - MEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



6 FIRST FLOOR - MEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"

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TA-9	24" X 36" MIRROR
TA-11	FAUCET
WC-1	TOILET
WC-2	TOILET FLUSHOMETER
UR-1	URINAL
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*SEE SHEETS A-104 - A-105 FOR FULL FIXTURE SCHEDULE.
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JEFFERSON CITY, MO

PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
DATE: 04/14/2025
REVISION: _____
DATE: _____
REVISION: _____
DATE: _____
ISSUE DATE: 12/13/2024

CAD DWG FILE: A-206_O2409_01
DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
**FIRST FL. MEN'S
STAFF RESTROOM
ELEVATIONS**

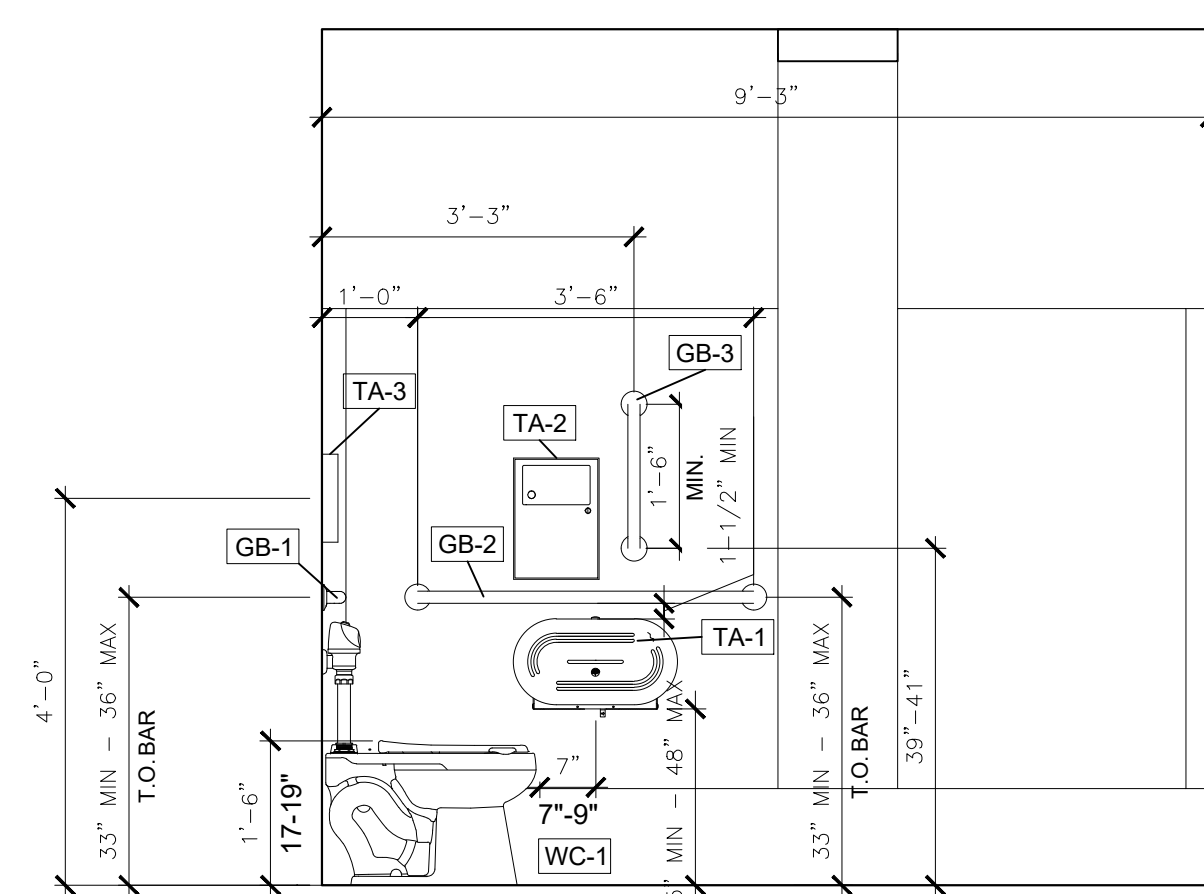
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A-206

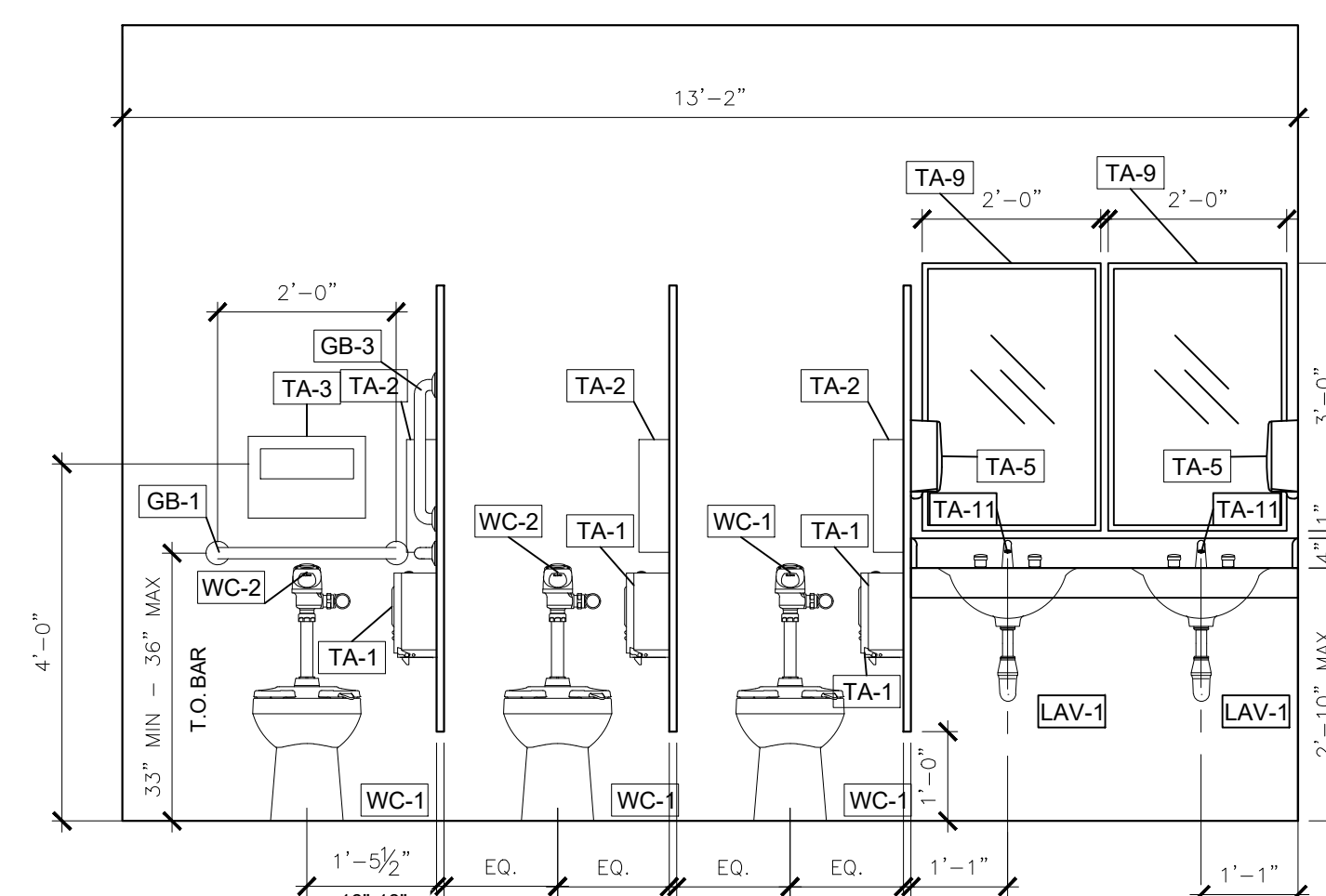


Brad M. Schaefer - Architect
MO# A-2009027294

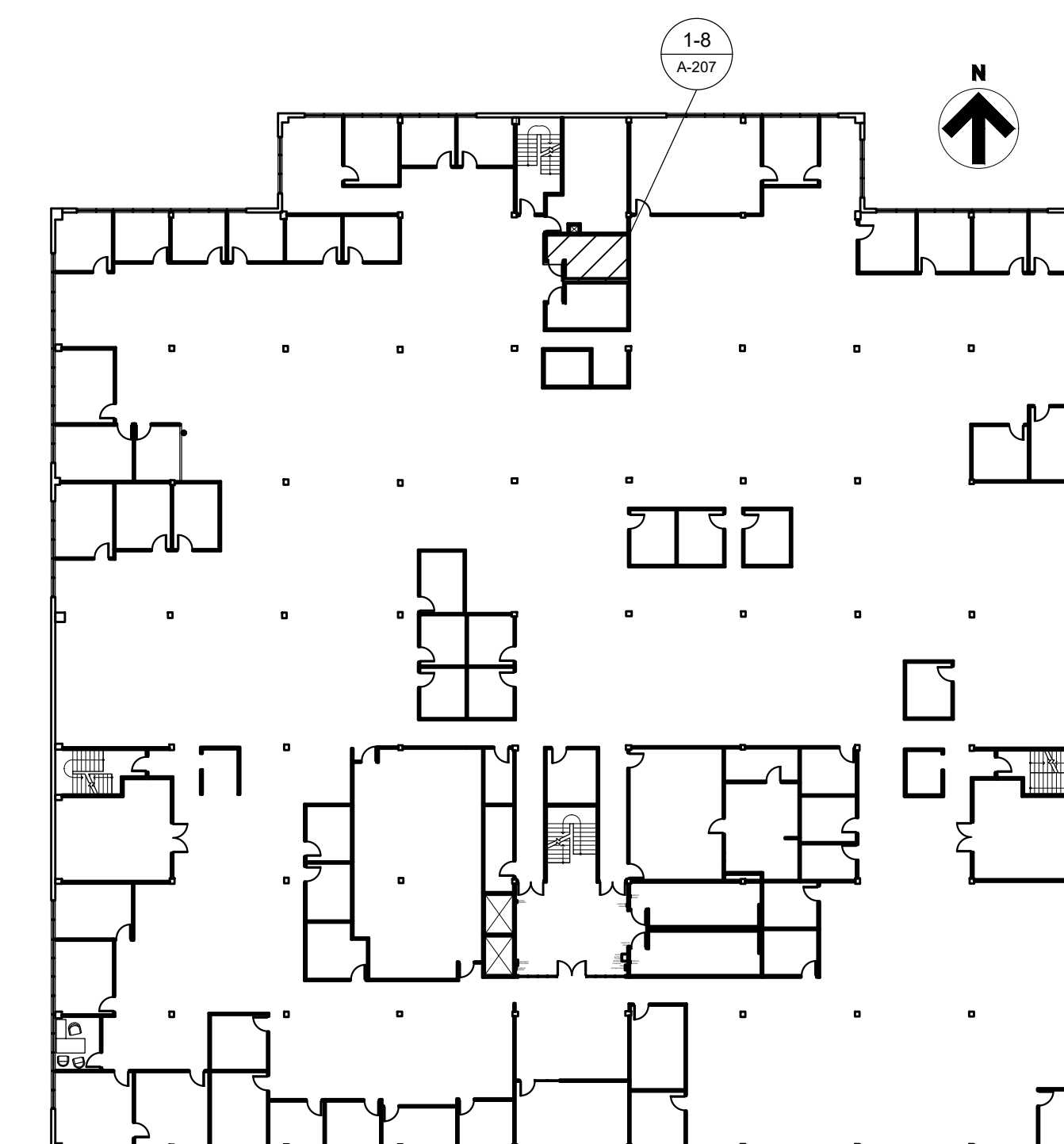
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DOCUMENTS**



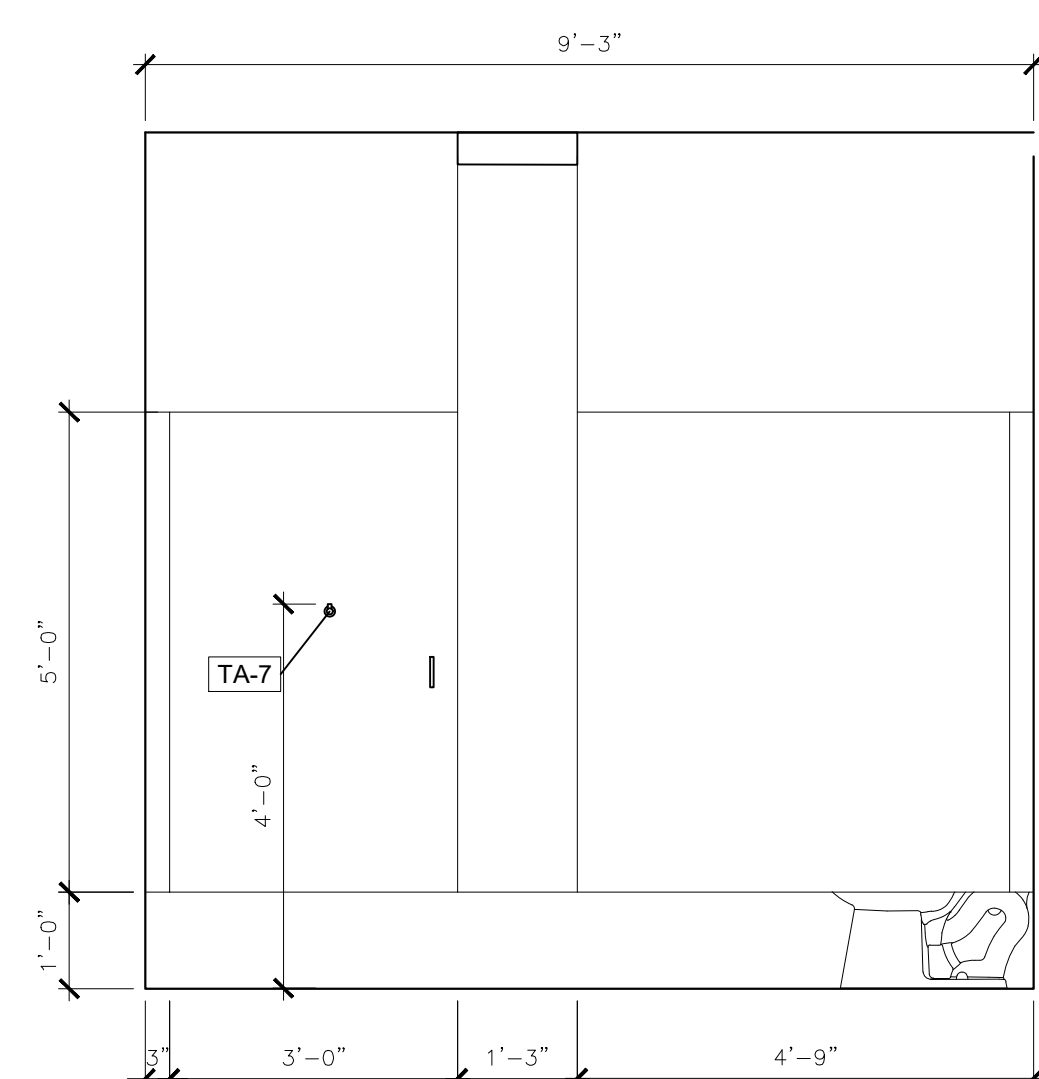
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SCALE: 1/2" = 1'-0" PHASE 7



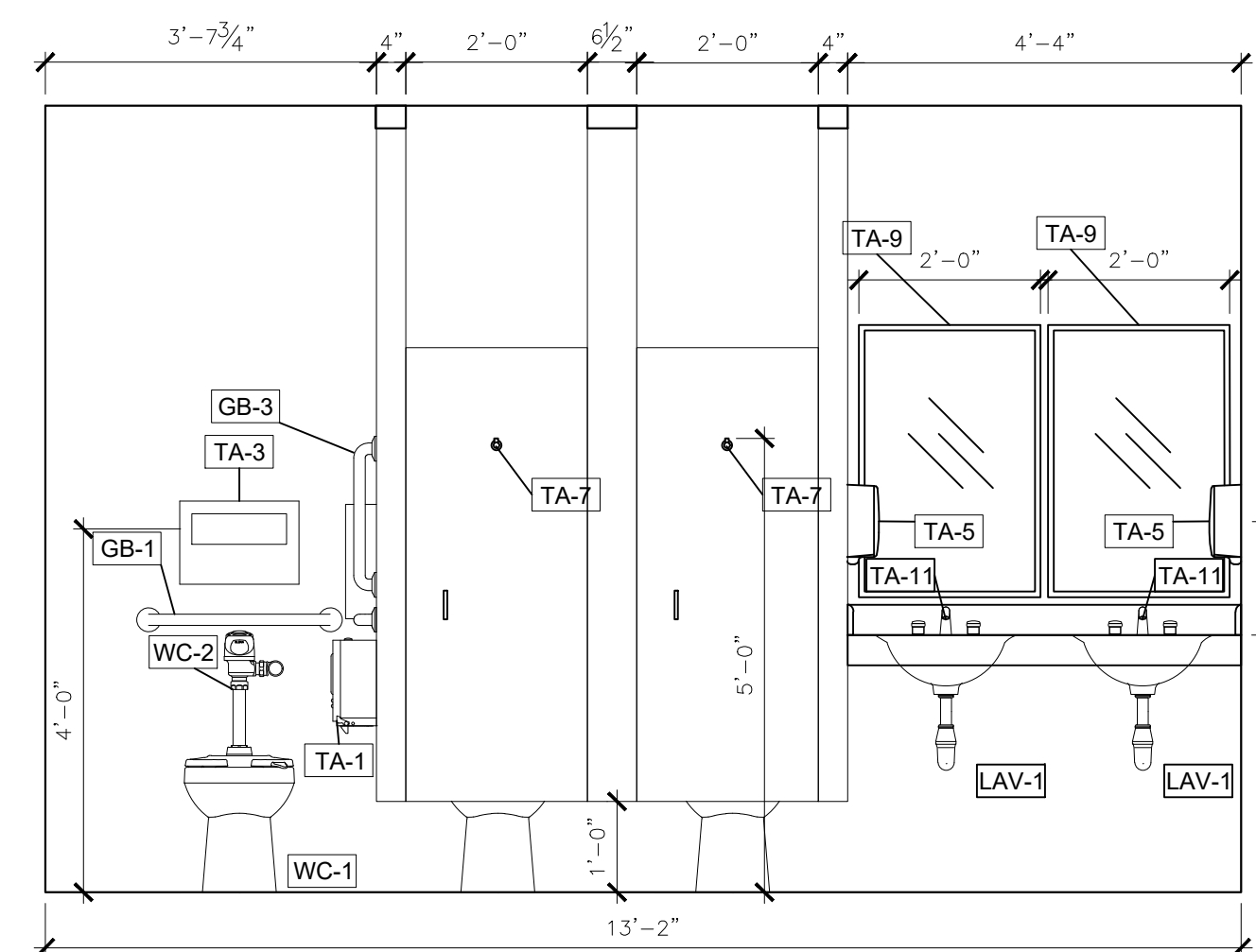
2 SECOND FLOOR - WOMEN'S STAFF RESTROOM INT. SECTION
SCALE: 1/2" = 1'-0" PHASE 7



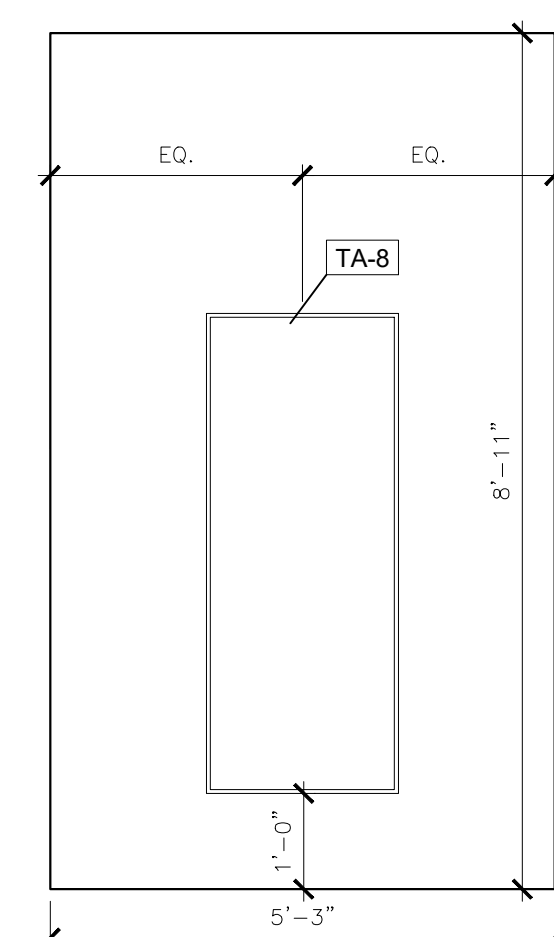
KEYPLAN HOWERTON SECOND FLOOR KEY PLAN



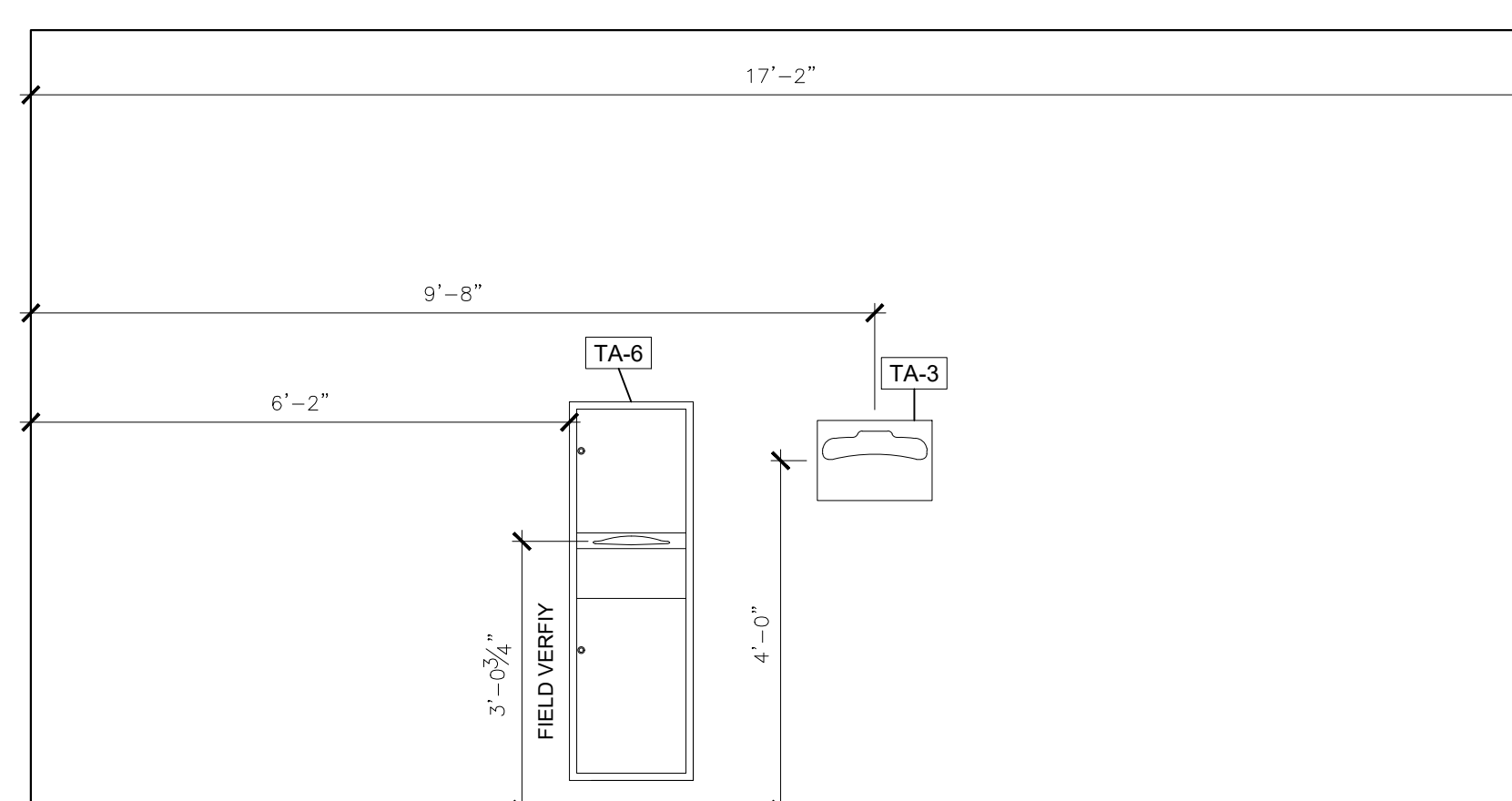
3 SECOND FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0" PHASE 7



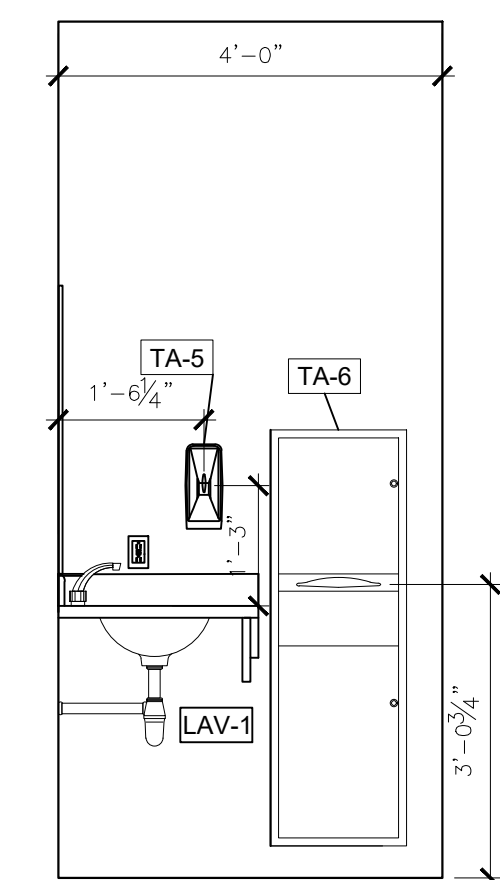
4 SECOND FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0" PHASE 7



5 SECOND FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0" PHASE 7



6 SECOND FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0" PHASE 7



7 SECOND FLOOR - WOMEN'S STAFF RESTROOM INT. ELEVATION
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*SEE SHEETS A-104 - A-105 FOR FULL FIXTURE SCHEDULE.
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PROJECT # O2339-01
SITE # 1025
FACILITY # 3101025001

REVISION: ADDENDUM NO. 1
DATE: 04/14/2025
REVISION: _____
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ISSUE DATE: 12/13/2024

CAD DWG FILE: A-207_O2409_01
DRAWN BY: EL
CHECKED BY: BMS
DESIGNED BY: EL

SHEET TITLE:
**SECOND FL. WOMEN'S
STAFF RESTROOM
ELEVATIONS**

SHEET NUMBER:

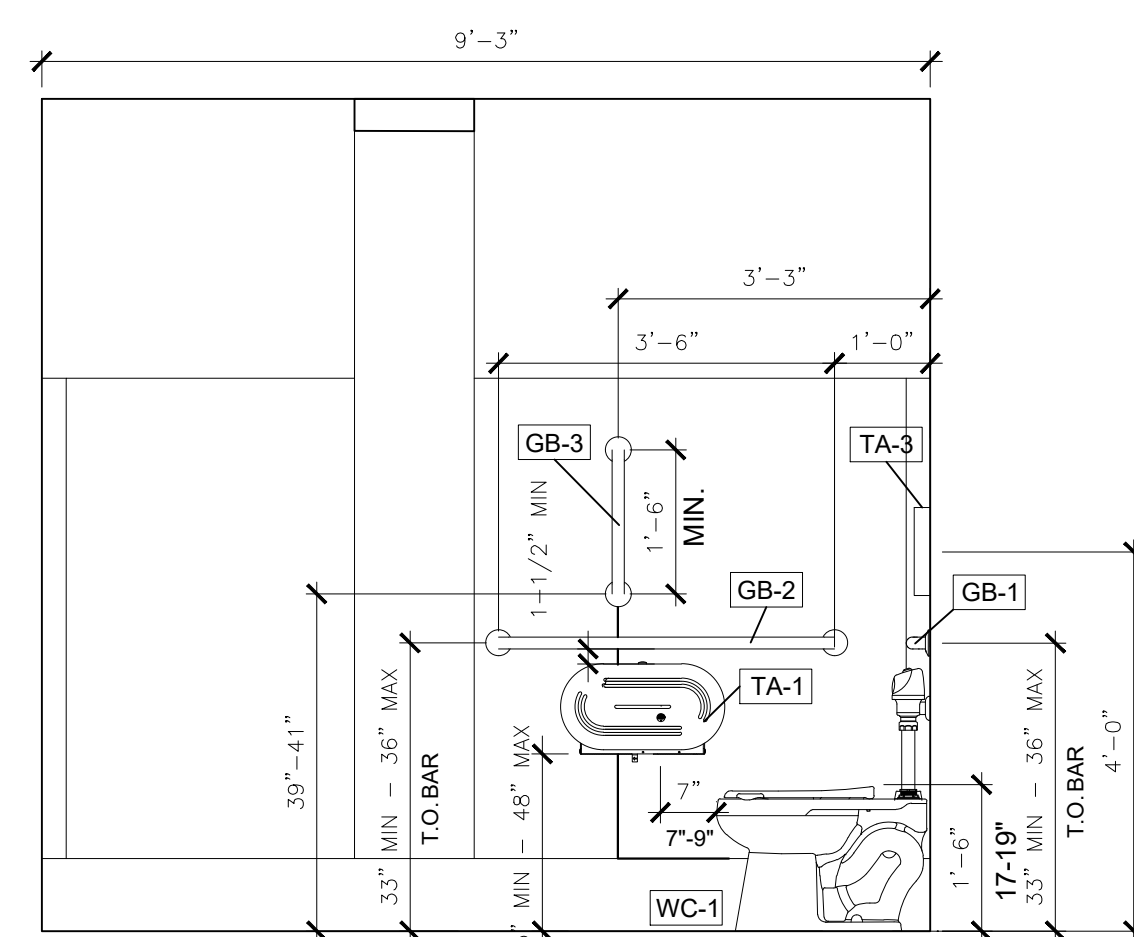
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15 OF 38 SHEETS

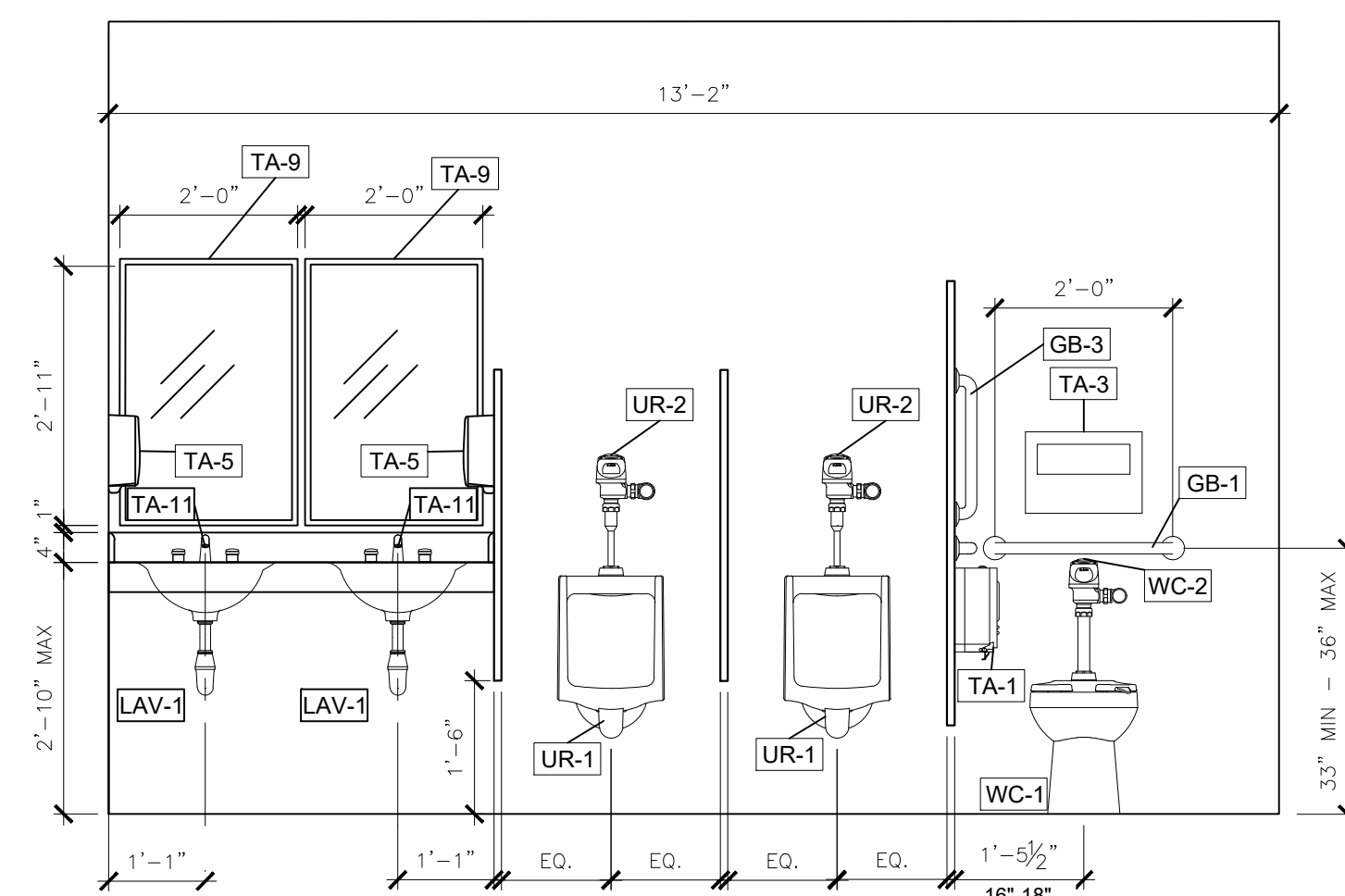


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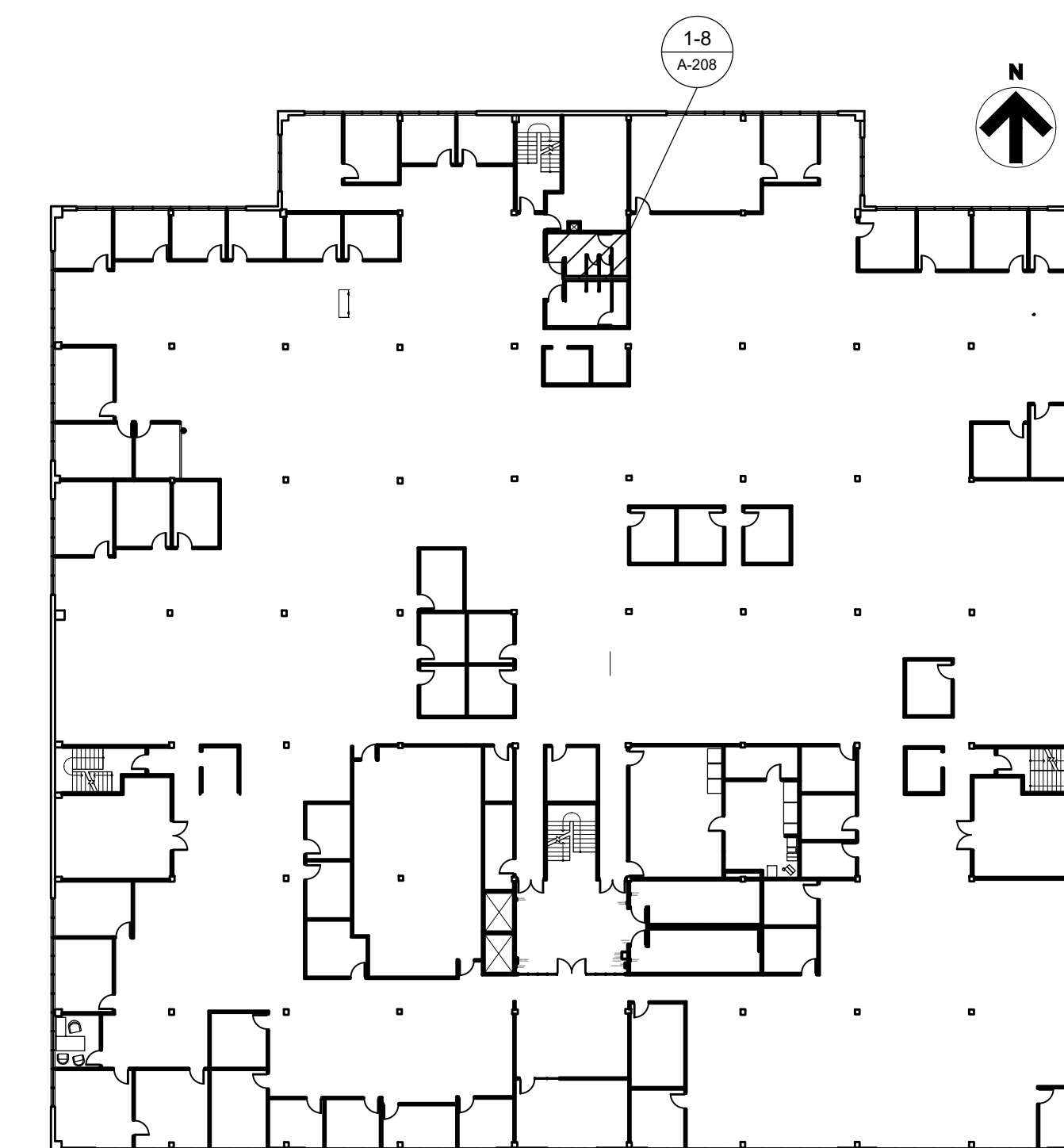
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DOCUMENTS**



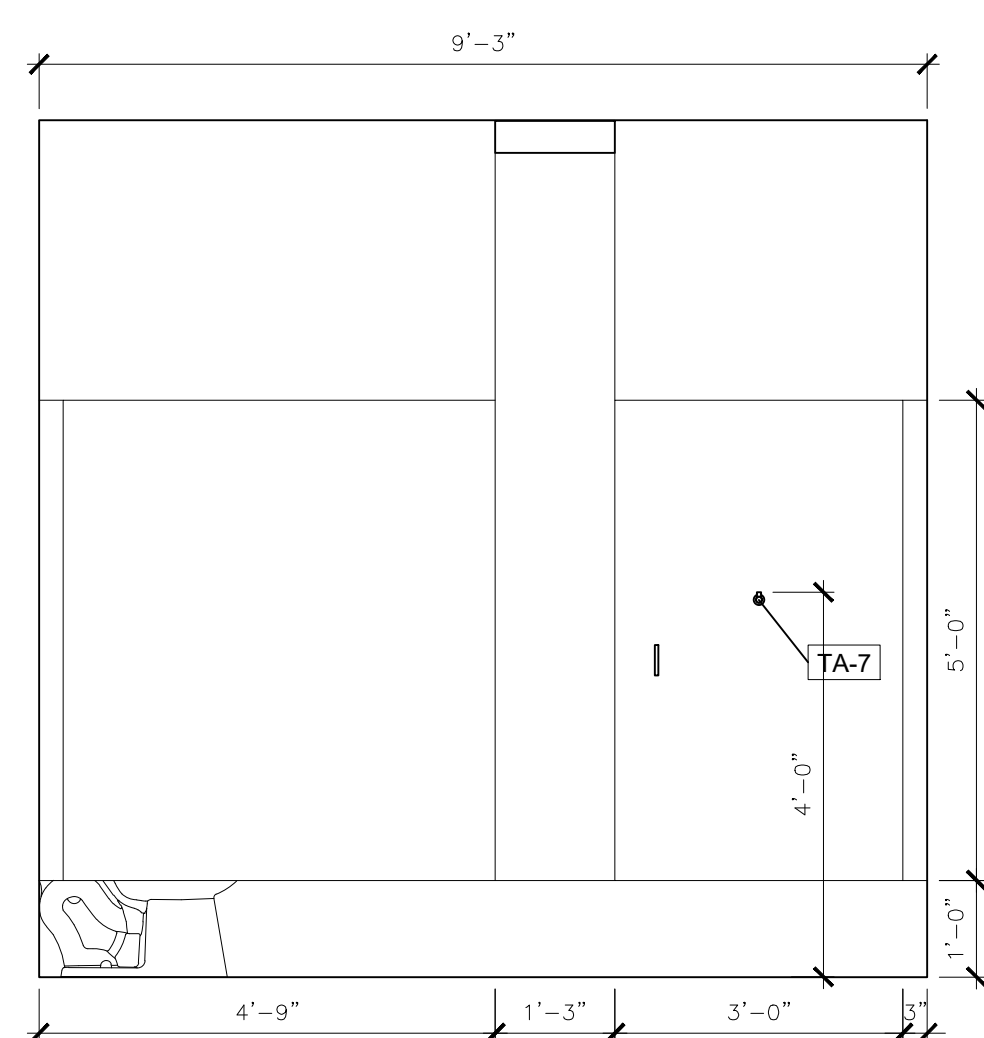
1 SECOND FLOOR - MEN'S STAFF RESTROOM INT. SECTION
SCALE: 1/2" = 1'-0"



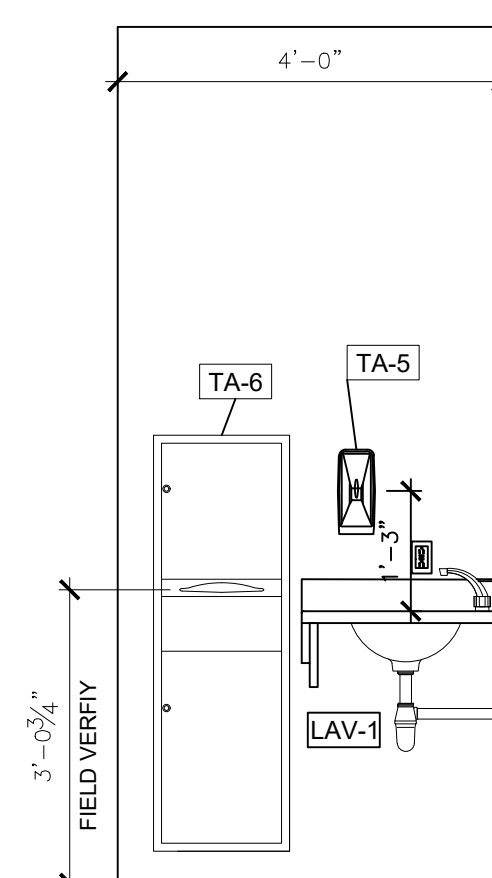
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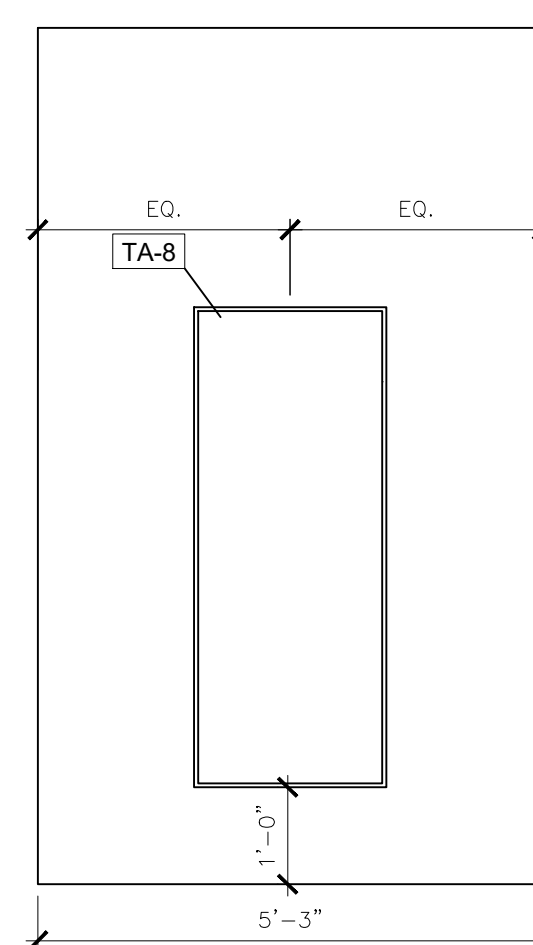
KEYPLAN HOWERTON SECOND FLOOR KEY PLAN



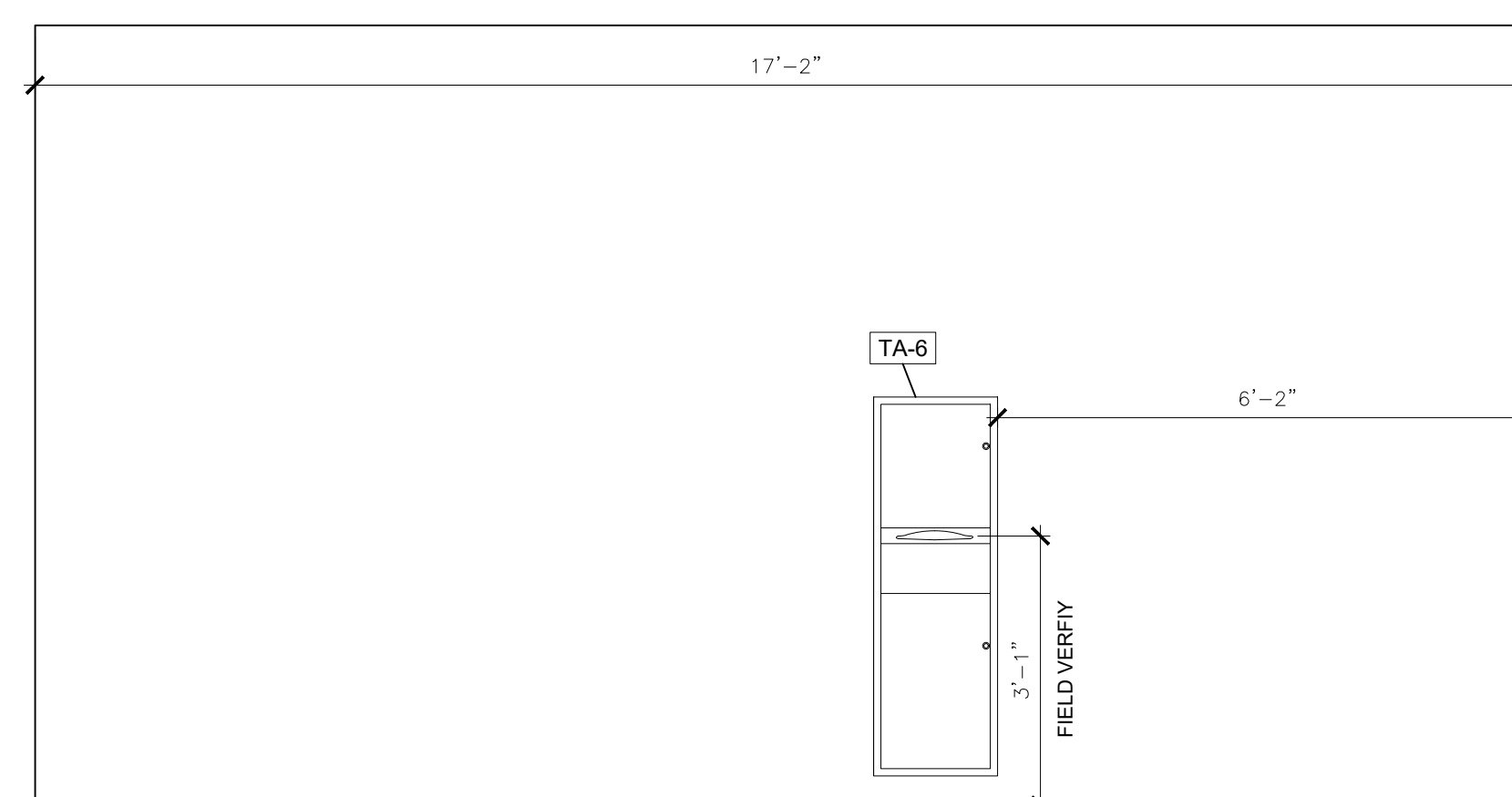
3 SECOND FLOOR - MEN'S STAFF RESTROOM INT. ELEVATION
SCALE: 1/2" = 1'-0"



4 SECOND FLOOR - MEN'S STAFF RESTROOM INT. ELEVATION
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5 SECOND FLOOR - MEN'S STAFF RESTROOM INT. ELEVATION
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DESIGNED BY: EL

SHEET TITLE:
SECOND FL. MEN'S
STAFF RESTROOM
ELEVATIONS

SHEET NUMBER:

A-208